

March 19, 2021

Honorable City Planning Commission  
Cincinnati, Ohio

**SUBJECT:** A report and recommendation on a proposed Final Development Plan for Block A1 of Planned Development #86 (PD-86), the District at Clifton Heights, in CUF.

**GENERAL INFORMATION:**

**Location:** 350 Straight Street  
Cincinnati, Ohio 45219

**Applicant/ Owner:** OH-UC Holdings, II LLC  
201 Main Street, Suite 1000  
Lafayette, IN 47901

**Request:** The applicant is requesting approval on a proposed Final Development Plan for Block A1 of the District at Clifton Heights Planned Development (PD-86) for the construction of a 143'-3" tall mixed-use building consisting of 380 student housing units, 2,272 sq. ft. of ground floor commercial/retail space, and a 169-space parking garage interior to the structure.

**ATTACHMENTS:**

Provided in addition to this report are:

- Exhibit A – Location Map
- Exhibit B – Site Survey
- Exhibit C – Site Plan
- Exhibit D – Engineering Plans
- Exhibit E – Schematic Building Plans
- Exhibit F – Landscape Plans
- Exhibit G – Schedule
- Exhibit H – Commitment Letter
- Exhibit I – Permitted Uses
- Exhibit J – CPRE210011 Letter
- Exhibit K – Hillside Overlay Zoning Staff Report

**BACKGROUND:**

On July 19, 2019, the City Planning Commission approved a zone change, including a Concept Plan and Development Program Statement for the area generally bound by Clifton Avenue to the east, Herman Street to the south, University Court to the west, and Stratford Heights student apartments to the north from Institutional-Residential (IR), Single-family (SF-2), and Residential Multi-family (RM-0.7) to Planned Development #86 (PD-86), the District at Clifton Heights in the CUF neighborhood. On August 7, 2019 City Council approved the zone change, Concept Plan, and Development Program Statement as Ordinance 299-2019.

On February 4, 2021, applicant OH-UC Holdings, LLC submitted the proposed Final Development Plan to the Department of City Planning for the Block A1 of the Planned Development. The proposed Final Development Plan is the first development within Sub-Area A located at the northeast intersection of Stratford Avenue and Straight Street, which includes 380 student residences and 2,272 sq. ft. of retail/commercial space which is consistent with the approved Concept Plan.

**ADJACENT LAND USE AND ZONING:**

The existing zoning and land use surrounding the subject site is as follows:

**North:**

Zoning: Planned Development (PD-12)  
Existing Use: Parking Garage, Residential Apartments (Stratford Heights Student Apartments)

**East:**

Zoning: Planned Development (PD-86)  
Existing Use: Vacant, Surface Parking Lot, Cincinnati Hillel

**South:**

Zoning: Planned Development (PD-86)  
Existing Use: Vacant

**West:**

Zoning: Planned Development (PD-86)  
Existing Use: Single-family residential

**DESCRIPTION OF PROJECT:**

The Final Development Plan is for PD-86, the District at Clifton Heights. The subject site is approximately 1.16 acres and is located at the northeast corner of the intersection of Stratford Avenue and Straight Street. In the approved Concept Plan and Development Program Statement for the District at Clifton Heights, proposed Block A1 is within the area identified as Sub-Area A. The northern portion of the site is located within a Hillside Overlay District. Because of this, the proposed project has been reviewed by the Zoning Plans Examiner per the Hillside Overlay Development Guidelines (Exhibit K).

The approved Concept Plan for larger Sub-Area A, generally bound by Stratford Avenue to the west, Straight Street to the south, Clifton Avenue to the east, and Stratford Heights Student Apartments to the north, included:

Student Residences 450 units  
Retail/Commercial Space 195,000 sq. ft.  
Hotel 170 units  
Redevelopment of Hillel Facility

The proposed Final Development Plan is for the western 1.16 acres of approved Sub-Area A, which includes 380 student residences and 2,272 sq. ft. of retail/commercial space. The remainder of Sub-Area A will require submittal of an additional Final Development Plan(s) at a future date.

**Proposed Mixed-Use Building (Hub at Cincinnati)**

The proposed Final Development Plan is for the construction of a 143'-3" (14-story) mixed use building with frontage along Straight Street to the south and Stratford Avenue to the west. The structure will contain 169 parking stalls interior to the structure, 2,272 sq. ft. of retail/commercial space on the ground floor with entry from the Straight Street façade, and 380 student housing units, to be called the "Hub at Cincinnati." Below outlines the proposed building as it relates to the approved Concept Plan for Sub-Area A.

	<b>Approved Concept Plan for Sub Area A</b>	<b>Proposed Block A1</b>
Allowable Floor Area Ratio	FAR 5.5 = 637,967 sq. ft. (Total)	405,457 sq. ft. (FAR 3.50)
Max. Residential Units	450 units	380 units
Max. Retail/Commercial Space	195,000	2,272 sq. ft.

Loading Spaces	3	2
Minimum Building Setbacks	5'-0" Front 0'-0" Side 5'-0" Rear	10'-0" Front 0'-0" Side 5'-0" Rear
Maximum Building Height	150'-0"	143'-3"

The proposed structure is consistent with the approved Concept Plan with regards to number of units, floor area ratio, parking and loading spaces, minimum building setbacks, and maximum building height. Additionally, per Exhibit K and the Zoning Plans Examiner’s review of the Final Development Plan as it relates to the Hillside Overlay District, the proposed building is consistent with the Concept Plan, and the setback and building heights are not expected to cause adverse effects on adjacent property owners.

**Parking**

Parking requirements were established for the District at Clifton Heights Planned Development during Concept Plan and Development Program Statement approval. The uses and parking ratios for Block A1 are outlined below:

Land Use Category	Parking Ratio Requirement	Unit Requirement
Retail	2.50	Per 1,000 sq. ft.
Residential	1.0 per unit or 0.4 per bedroom	Per Unit or Per Bedroom

Under these requirements, the proposed 2,272 sq. ft. of retail/commercial space in Block A1 will require 6 parking spaces. The 380 units of student housing is made up of 980 bedrooms. Therefore, the student housing component of proposed Block A1 requires 392 parking spaces.

The Deacon student housing development within the Planned Development (west of Block A1) requires 412 parking spaces. The existing Stratford Garage, opposite Stratford Avenue to west of Block A1 contains 815 parking spaces, which will serve both the Deacon residents and the proposed Block A1’s “Hub at Cincinnati” student housing residents. The proposed 169 parking spaces included in Block A1 are intended to serve the future Hotel and retail/commercial uses for the remainder of Sub-Area A. The table below outlines the number of spaces required for the Deacon and the proposed “Hub at Cincinnati” student residences and retail/commercial space, and where of the spaces will be provided:

Use	Location of Parking	Required Spaces	Spaces Provided
The Deacon Student Housing	Existing Stratford Garage	412	815
Proposed “Hub at Cincinnati”	Existing Stratford Garage	392	
Proposed Block A1 Retail	Proposed Block A1 Garage	6	169*
Totals		810	984

\*Parking in Block A1 to serve retail and future hotel use in future Final Development Plan for Sub-Area A

**DIFFERENCES BETWEEN CONCEPT PLAN AND FINAL DEVELOPMENT PLAN:**

The Final Development Plan is substantially consistent with the Concept Plan that was approved by City Council on August 7, 2019. The Concept Plan specifically assigns the subject portion of Sub Area A as the location for student residences with parking and retail below. The height, unit count, parking calculation, floor area, footprint, circulation, and landscaping are consistent with the Concept Plan.

**§1429-13 FINAL DEVELOPMENT PLAN:**

Following approval of a PD District with a Concept Plan and Development Program Statement, a Final Development Plan must be submitted to the City Planning Commission (§1429-13). A Final Development

Plan must be filed for any portion of an approved Concept Plan that the petitioner wishes to develop, and this plan must conform substantially to the approved Concept Plan and Development Program Statement.

Consistent with the provisions of Section 1429-13, the following information was provided and attached to this report:

- a) **Survey** – A survey showing the boundary of the site, topography, and existing utilities is included as Exhibit B.
- b) **Site Plan** – The site plan (Exhibit C) shows the proposed mixed-use building with pedestrian entry for the residential, retail, and garage uses, a pedestrian plaza on Straight Street, a public parking garage with ingress/egress points on Stratford Avenue, and the location of loading docks and service yards, which are consistent with the approved Concept Plan.
- c) **Engineering Plans** – Engineering plans, including the Survey, Demolition Plan, Site Utility Service Plan, Greater Cincinnati Water Works Branch Application Plan, and Site Drainage and Erosion Control Plan, are included as Exhibit D. These plans were reviewed by the Metropolitan Sewer District, Greater Cincinnati Water Works, and the Department of Buildings and Inspections during the Coordinated Site Review process.
- d) **Open Space** – The District at Clifton Heights is intended to be a minimum setback mixed-use development, with open space being provided in the form of pedestrian plazas on private properties that are oriented towards the street network and streetscape improvements along the existing public right-of-way. The provided Landscape Plan (Exhibit F) indicates 7,515 sq. ft. of planted area which includes street trees and plantings around the perimeter of the building, and a 1,640 sq. ft. plaza area located along Straight Street outside of the public right-of-way.
- e) **Schematic Building Plans** – The schematic building plans, included as Exhibit E, are consistent with the Concept Plan in size, location, and height. The structure is proposed to be constructed with a mix of materials including brick, concrete, scored face CMU, metal panel (corrugated and perforated), and glass. The proposed building is 14 stories in height, measuring 143'-3" (measured from the intersection of Stratford Avenue and Straight Street to the roof of the highest habitable level per the approved Concept Plan). The structure remains at the same height measured from the intersection of Stratford Avenue and Straight Street and runs parallel with Stratford Avenue. Because the elevation decreases south to north on Stratford Avenue, the north elevation, measured from foundation grade to the roof of highest habitable level, measures 178'-9". Because of this, the three lower levels of parking at the north elevation of the structure are above grade, and the three lower levels of parking at the south elevation (Straight Street) are below grade. Where the parking levels are above grade, the elevations include use of brick, scored face CMU, and metal panel materials consistent with the entire elevation. These portions of façade also include building recesses to imitate the fenestration of the upper floors. Vehicular access to the parking levels are located on Stratford Avenue approximately 68' north of Straight Street. The 14-story student residential units are proposed to be built above the parking levels on the main north-south spine of the building. There is an additional east-west spine on the east façade of the structure that is 12-stories in height, with a rooftop deck amenity area that is accessed via the 13<sup>th</sup> floor.

The south elevation (along Straight Street) includes a first-floor storefront that will be used for the 2,272 sq. ft. retail/commercial space, a pedestrian entry for the residential units and a pedestrian entry for the public garage elevator lobby.

- f) **Landscape Plans** – A landscape plan and plant palette was submitted as Exhibit F. The provided landscape plan indicates 7,515 sq. ft. of planted area which includes street trees along Stratford Avenue and Straight Street, plantings around the perimeter of the building, and a 1,640 sq. ft. plaza area located along Straight Street outside of the public right-of-way.

g) **Phased Schedule** – The proposed Final Development Plan is proposed to be constructed in a single phase. Exhibit G identifies the following milestones in the anticipated construction schedule:

<i>2021</i>	
<b>June</b>	Construction begins
<b>September</b>	Foundation Construction Complete
<b>December</b>	Podium Construction Complete
<i>2022</i>	
<b>August</b>	Structure Complete Pool Deck Framing Complete/Ready for Pool Installation
<i>2023</i>	
<b>March</b>	Enclosure Complete
<b>July</b>	Substantial Completion Building Turnover

- h) **Ownership** - The property is currently owned by OH-UC, Holdings II, LLC. Upon completion of the structure, the student residence portion of the structure will be owned by Core Spaces, and the parking structure will continue to be owned by OH-UC Holdings II, LLC. This will require the creation of air lots, which will require review and approval by the City Planning Commission at a later date through the Major Subdivision process.
- i) **Statement of Uses** – The principal use of the proposed structure is a mix of student housing and retail/commercial space. The applicant has provided a Statement of Uses with the proposed Final Development Plan submittal for Block A1 (Exhibit I). The uses outlined in Exhibit I are consistent with the Use Table for Sub Area A that was part of the approved Concept Plan and Development Program Statement for the District at Clifton Heights Planned Development.
- j) **Future Ownership and Control** – Upon completion of the structure, the student residences portion of the structure will be owned by Core Spaces, and the parking structure will be owned by OH-UC Holdings II, LLC. This separate ownership structure will require the creation of air lots, which will require review and approval by the City Planning Commission at a later date through the Major Subdivision process.
- k) **Restrictive Covenants** – There are no restrictive covenants for the property.
- l) **Other Information**

*Noise Levels*

Noise levels during the construction and use of the proposed Final Development Plan is pursuant to Cincinnati Municipal Code Chapter 909 and based on the requirements for the adjacent zoning district for the receiving property. Because the adjacent properties to the south are within PD-86, the District at Clifton Heights, and the Concept Plan includes the activation of Straight Street as a “great street” with retail/commercial uses on the ground floor, the noise levels for the retail/commercial space of Block A1 are proposed to be based on commercial district criteria. However, the receiving properties to the west and north are residential uses, and therefore the noise levels for the student residential use is proposed to be based on residential districts criteria. The following permanent noise levels shall apply to the proposed Final Development Plan for Block A1:

Retail/Commercial Use on Straight Street:

<b>Table 1   Sunday through Wednesday</b>			
<b>Times</b>	7 a.m. to 7 p.m.	7 p.m. to 2 a.m.	2 a.m. to 7 a.m.
<b>Day</b>	Sunday through Wednesday	Sunday through Wednesday	Sunday through Thursday
<b>Noise Level</b>	70 dB	65 dB	65 dB

<b>Table 2   Thursday</b>			
<b>Times</b>	7 a.m. to 7 p.m.	7 p.m. to Midnight	Midnight to 7 a.m.
<b>Day</b>	Thursday	Thursday	Friday
<b>Noise Level</b>	70 dB	75 dB	65 dB

<b>Table 3   Friday through Saturday</b>			
<b>Times</b>	7 a.m. to 7 p.m.	7 p.m. to 2 a.m.	2 a.m. to 7 a.m.
<b>Day</b>	Friday through Saturday	Friday through Saturday	Saturday through Sunday
<b>Noise Level</b>	75 dB	75 dB	70 dB

Student Residential Use:

<b>Table 1   Sunday through Wednesday</b>			
<b>Times</b>	7 a.m. to 7 p.m.	7 p.m. to 2 a.m.	2 a.m. to 7 a.m.
<b>Day</b>	Sunday through Wednesday	Sunday through Wednesday	Sunday through Thursday
<b>Noise Level</b>	60 dB	55 dB	55 dB

<b>Table 2   Thursday</b>			
<b>Times</b>	7 a.m. to 7 p.m.	7 p.m. to Midnight	Midnight to 7 a.m.
<b>Day</b>	Thursday	Thursday	Friday
<b>Noise Level</b>	60 dB	55 dB	55 dB

<b>Table 3   Friday through Saturday</b>			
<b>Times</b>	7 a.m. to 7 p.m.	7 p.m. to 2 a.m.	2 a.m. to 7 a.m.
<b>Day</b>	Friday through Saturday	Friday through Saturday	Saturday through Sunday
<b>Noise Level</b>	65 dB	60 dB	60 dB

*Signage*

For the purposes of the Final Development Plan for Block A1, the sign regulations established by Chapter 1427 of the Cincinnati Zoning Code for the Commercial Neighborhood – Pedestrian (CN-P) and the Commercial Community – Pedestrian (CC-P) shall govern. Any signage that deviates from the requirements established by Chapter 1427 of the Cincinnati Zoning Code for the CN-P and CC-P district will need to be submitted to, and reviewed by the Department of City Planning for final approval.

**PLANNING COMMISSION APPROVAL OF FINAL DEVELOPMENT PLAN:**

The City Planning Commission may approve a Final Development Plan for a development in a PD District (§ 1429-15) on consideration of the following:

- (a) **Consistency.** The Final Development Plan is consistent with the purpose of the Planned Development District Regulations; specifically:
- It allows for a more efficient and economically feasible development of property.
  - It ensures an orderly and thorough planning and review, which has produced quality design and development.
  - It provides for more creative development through flexibility in the design.
- (b) **Adequate Streets.** The existing public streets are adequate to serve the proposed mixed-use development. No new streets are being proposed. The applicant is working with the Department of Transportation and Engineering regarding the overall public street network and improvements necessary during each phase of the overall District at Clifton Heights Planned Development, in addition to any dedication that may be necessary.
- (c) **Adequate Infrastructure.** The petitioner has coordinated with Greater Cincinnati Water Works, the Metropolitan Sewer District, Duke Energy, and the Department of Transportation and Engineering to ensure that the proposed infrastructure and utilities are adequate to serve the site and properly interconnect with existing public facilities. The engineering plans are included as Exhibit D.
- (d) **Covenant.** The Department of City Planning must require covenants by the owner of the property that all streets, common areas, common utilities and other common facilities remain in common ownership by all owners of any interest in the land or buildings in the Planned Development other than a leasehold interest of less than five years. The applicant will need to provide any necessary covenants in accordance with §1429-15 in connection with submission of building permits.
- (e) **Release of Covenants.** The City Manager, on receipt of a recommendation from the Director of City Planning, may recommend the covenant be terminated in the following instances: the particular use requiring a covenant is no longer necessary and the building permits have been terminated, or the condition or conditions requiring such covenant are no longer applicable.
- (f) **Compatibility.** The proposed uses are compatible with the surrounding residential land uses and future proposed mixed uses of the overall District at Clifton Heights Planned Development. Additionally, the design of the structure is intended to match the building materials of the surrounding neighborhoods and the buildings on the adjacent University of Cincinnati main campus. The location of the pedestrian plaza and pedestrian entrances to the structure on Straight Street will help to activate the right-of-way. Additionally, by locating the vehicular entry points to the parking garage on Stratford Avenue, vehicular traffic and stacking will be directed away from Straight Street, which is consistent with the vision of this corridor in the approved Concept Plan and Development Program Statement for the overall Planned Development.
- (g) **Sufficiency of Legal Documents.** Proposed easements and other provisions meet development standards. A Declaration of Easement and a Water Service Covenant is required to be fully executed and recorded with Hamilton County Recorder's Office prior to Greater Cincinnati Water Works approval of water service branches for the proposed Final Development Plan. The applicant intends to create air lots for Block A1, which will include these easements. The creation of air lots is considered a Major Subdivision and will require review and approval by the City Planning Commission. This will ensure that all easements are properly illustrated and recorded.

- (h) **Sufficiency of Provisions for Maintenance of Common Areas.** The proposed project includes approximately 7,515 sq. ft. of planted area which includes street trees and plantings around the perimeter of the building, and a 1,640 sq. ft. plaza area located along Straight Street outside of the public right-of-way which will be maintained by the owner. The Cincinnati Park Board (Urban Forestry) has indicated that new street trees will require the applicant to obtain a Public Tree Work Permit (PTWP) prior to planting.

**PUBLIC COMMENT AND NOTIFICATION:**

The Department of City Planning held a virtual public staff conference on February 22, 2021. Notice of the Public Staff Conference was sent to all property owners within 400' of the boundary of PD-86, as well as the CUF Neighborhood Association, the Clifton Heights Community Urban Redevelopment Corporation (CHCURC), the Clifton Heights Business Association, and the Corryville Community Council. In total, there were 27 people in attendance, including 11 members of the applicant team, seven community members, and eight members of various City Departments (including the Department of Transportation and Engineering, Department of Community and Economic Development, and the Department of City Planning). During the meeting questions related to construction timeline, location of parking on- and off-site, parking calculations, availability of parking for the public, questions related to whether the existing surface parking lot to the east of the subject property will remain, and construction management for the proposal were discussed based on community members' questions. Overall, there were no major concerns related to the proposal. It was stated that the applicant has remained engaged with the neighborhood since the approval of the Zone Change, Concept Plan, and Development Program Statement.

On March 2, 2021, notice of the City Planning Commission meeting was sent to all property owners within 400' of the boundary of PD-86, the CUF Neighborhood Association, CHCURC, the Clifton Heights Business Association, the Corryville Community Council, and all those in attendance at the Public Staff Conference. To-date, the Department of City Planning has not received any letters or correspondence regarding the proposed Final Development Plan for Block A1.

A web page was also created on the Department of City Planning's website with information regarding the proposed Final Development Plan, upcoming meetings, and contact information related to the proposal.

**COORDINATED SITE REVIEW:**

The proposed Final Development Plan for Block A1 was submitted to the City's Coordinated Site Review at a Technical Design Review level. The Coordinated Site Review Advisory Team met on January 26, 2021. A meeting was held with the applicant to review departmental feedback on January 29, 2021. The applicant also received a letter outlining the feedback as seen in Exhibit J. There were no immediate concerns about the proposal. There are requirements that the applicant will need to address to obtain permits as this project progresses, including coordination with Greater Cincinnati Water Works regarding air lots on the property for water service branches and easements, the Fire Department regarding hydrant locations for all parts of the structure, the Parks Department (Urban Forestry) regarding street tree planting, and the Department of Transportation and Engineering regarding finalization of detailed designs for the public right-of-way. The applicant is actively working with these departments and will continue to do so as the development progresses.

**ANALYSIS:**

The staff of the Department of City Planning supports the proposed Final Development Plan for Block A1 of PD-86, the District at Clifton Heights. The proposed mixed-use building is consistent with the approved Concept Plan and Development Program Statement for Sub-Area A of the overall District at Clifton Heights mixed-use development proposal. One of the major concerns that was discussed during the Zone Change, Concept Plan, and Development Program Statement process was parking. The proposed development includes a 169-space



parking garage interior to the structure that will serve the next phase of development within Sub-Area A, and the proposed 380 unit student residential use will require 392 parking spaces, which are already provided within the existing Stratford Garage (located immediately adjacent to the west, opposite of Stratford Avenue). The proposed building height is compliant with the maximum building height allowable for Sub-Area A of the Planned Development based on the measurement definition established by the Concept Plan and Development Program Statement. The proposed building footprint is also consistent with the approved development standards of the Planned Development.

The northern portion of the subject property is located within a Hillside Overlay District. The proposed structure exceeds the Maximum Building Envelope (MBE) and the limit on cumulative excavation and fill, therefore the applicant requested review and relief from the Cincinnati Zoning Code related to these items. The proposed development is unique in that it is zoned Planned Development, which establishes the maximum building height and minimum setbacks per the approved Concept Plan and Development Program Statement. Based on Zoning staff's analysis, the following findings were identified regarding relief from hillside review (outlined in Exhibit K):

1. The proposed building is located within a Planned Development District. The Hillside Overlay regulations are the only Zoning regulations that apply to this site.
2. The proposed building appears to be consistent with the approved Concept Plan
3. The proposed setbacks and height are not expected to cause adverse effects on adjacent property owners.

Based on these findings, the Department of City Planning supports the Department of Buildings and Inspections – Zoning Division's recommendation as follows:

1. Section 1433-19 (a) – Approve – Hillside Review to allow a proposed building exceeding the allowable Maximum Building Envelope.
2. Section 1421-19 (g) – Approve – Hillside Review to allow approximately 46 ft. of cumulative excavation and fill, exceeding the 8 ft. limit.

Further, the character of the surrounding area was also considered during the design of the proposed 14-story mixed-use building. The applicant is proposing the use of a mix of materials that complement the adjacent CUF and Corryville neighborhoods and pull from the materials and style of structures located on the adjacent University of Cincinnati's main campus.

#### **CONSISTENCY WITH PLANS:**

##### *Plan Cincinnati (2012)*

The proposed Final Development Plan is consistent with the Compete Initiative Area of *Plan Cincinnati* (2012), particularly within the Goal to “Cultivate our position as the most vibrant and economically healthy part of our region (page 114), specifically “Focus development on the existing centers of activity by developing compact walkable mixed-use districts and better connect them to residential areas” (page 116). The proposed mixed-use development introduces a compact walkable district in the CUF neighborhood adjacent to the University of Cincinnati where there is activity amongst residents, students, and employees in the neighborhood.

The Final Development Plan is also consistent with the Live Initiative Area, particularly within the Goal to “Provide a full spectrum of housing options, and improve housing quality and affordability” (page 164), specifically “Offer housing options of varied sizes and types for residents at all stages of life” (page 169). The proposed mixed-use structure allows for additional units for University of Cincinnati students.

*University Impact Area Solutions Study (2016)*

The proposed Final Development Plan is consistent with portions of the *University Impact Area Solutions Study*, approved by the City Planning Commission on September 30, 2016 and by the Cincinnati City Council on October 19, 2016 as Resolution No. 47-2016. A Zoning and New Development Working Group was created specifically to focus on issues related to zoning and new development. Goal #1 established by this Working Group was to “establish where growth and density should be located in the areas near the University of Cincinnati” (page 46 – 50). The Working Group Proposed Map (page 50) identifies the subject site as a “Future Development Opportunity.” The proposed mixed-use development is within one of the identified “Future Development Opportunity” areas. Additionally, the petitioner has worked with the community throughout the Zone Change, Concept Plan, and Development Program Statement process to determine appropriate building heights, uses and design. This engagement continued through the Final Development process for proposed Block A1.

**FINDINGS:**

It is the opinion of staff of the Department of City Planning that the Final Development Plan is in compliance with §1429-15 “Planning Commission Approval of Final Development Plan” as outlined on pages 6-7 of this report. Further, the proposal substantially conforms with the previously approved Concept Plan.

**CONCLUSIONS:**

The staff of the Department of City Planning supports the proposed Final Development Plan for Block A1 of PD-86, the District at Clifton Heights for the following reasons:

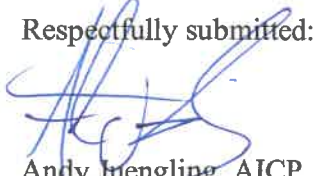
1. The Final Development Plan is consistent with the approved Concept Plan, Development Program Statement.
2. The Department of Building and Inspections – Zoning Division recommends approval of the Hillside Review for the proposed structure.
3. The development has taken into consideration the existing character of the surrounding neighborhoods and the University of Cincinnati, and the development will not negatively impact this character.
4. The Final Development Plan is consistent with goals in *Plan Cincinnati (2012)* and the *University Impact Area Solutions Study (2016)*.

**RECOMMENDATION:**

The staff of the Department of City Planning recommends that the City Planning Commission take the following actions:

1. **APPROVE** the Final Development Plan for Block A1 of Planned Development #86 (PD-86), the District at Clifton Heights, in CUF, as specified on pages 6-7 of this report and;
2. **ADOPT** the Department of City Planning Findings as detailed on page 9 of this report.

Respectfully submitted:



Andy Juengling, AICP, Senior City Planner  
Department of City Planning

Approved:



Katherine Keough-Jurs, AICP, Director  
Department of City Planning

# Proposed Final Development Plan for The District at Clifton Heights in CUF

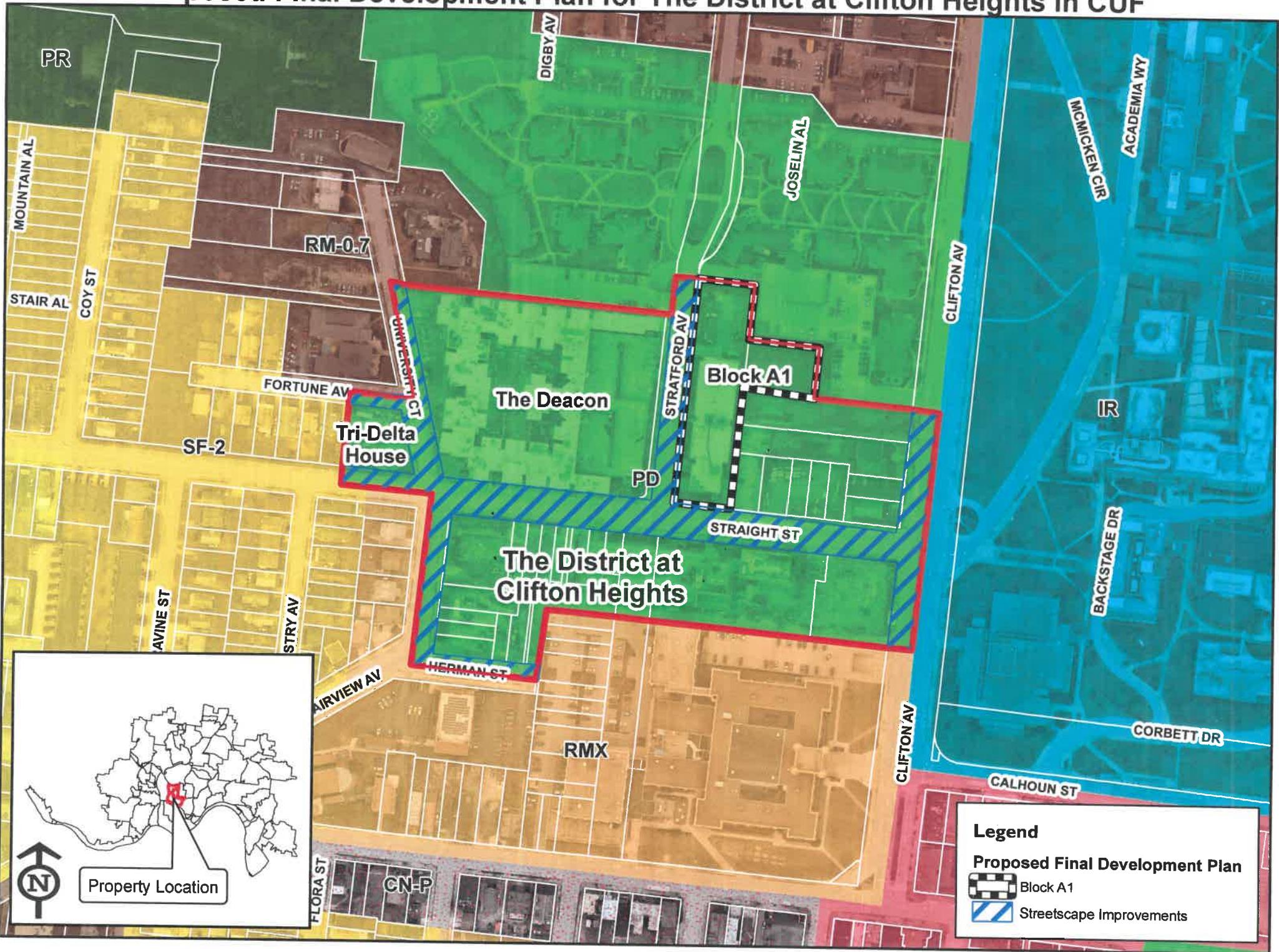
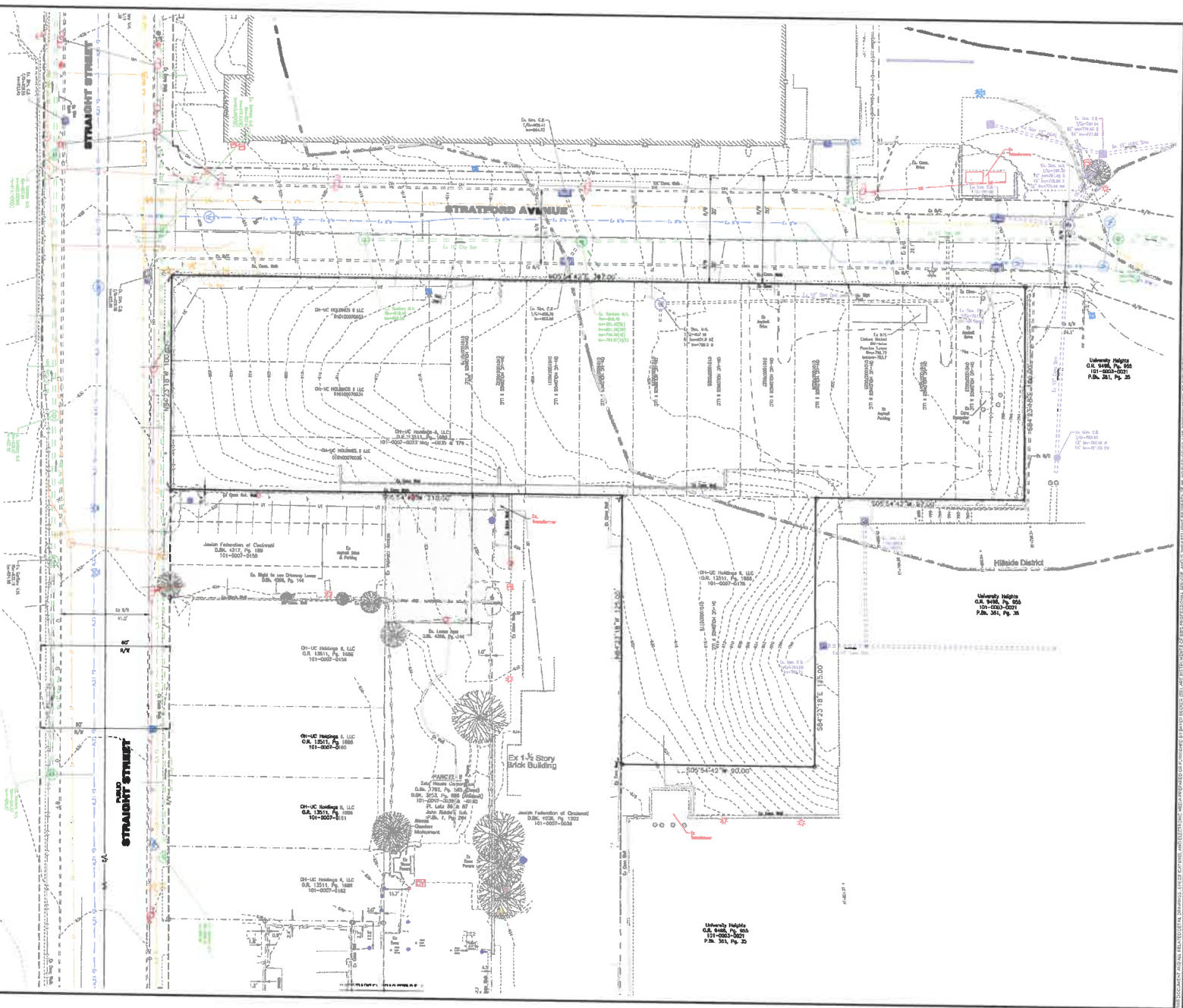


Exhibit B



Date	Drawn	Checked

NO.	REVISION	DATE	BY	DESCRIPTION
1				

**THE DISTRICT  
AT CLIFTON HEIGHTS**  
SECTION 28, TOWN OF CLIFTON HEIGHTS, RANGE 2 BTM  
MILL CREEK TOWNSHIP  
HAMILTON COUNTY, OHIO

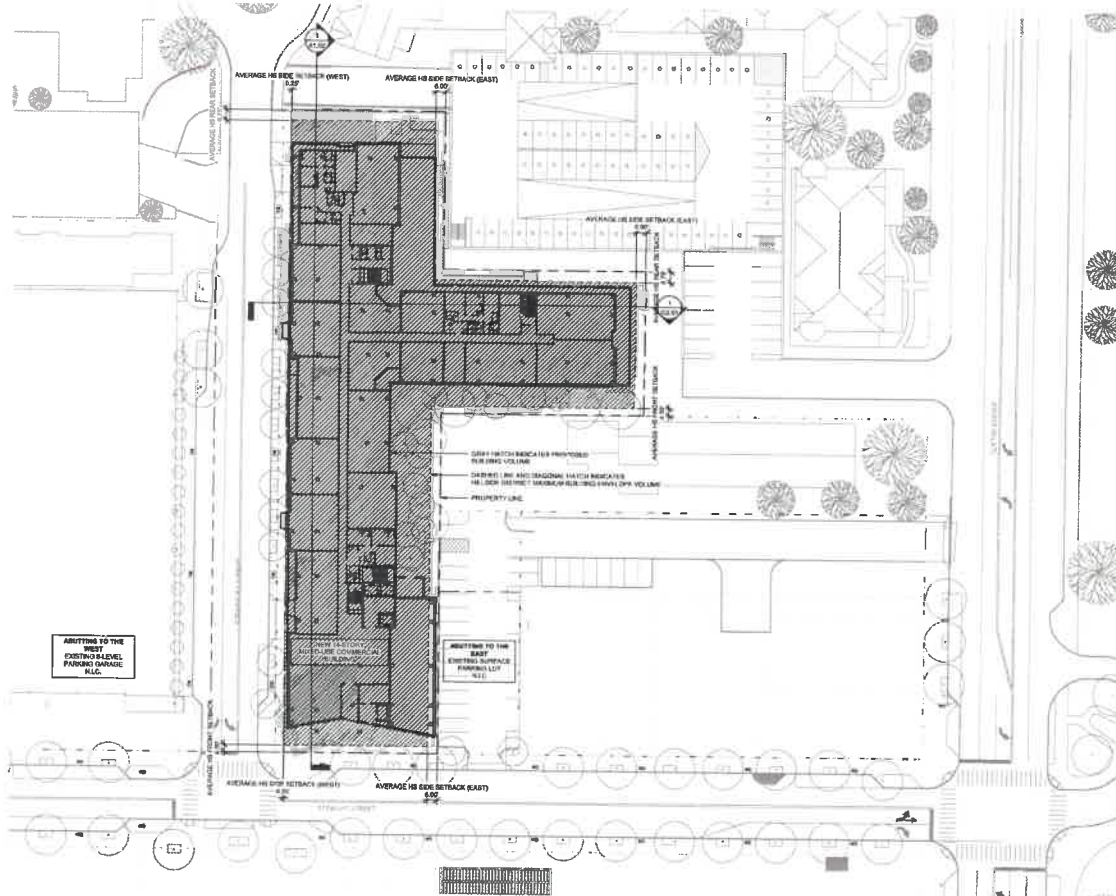
**BASE MAP**

**bayer becker**  
Surveying & Engineering, Inc.  
1880 Elm Street, Cincinnati, OH 45219  
Phone: (513) 381-1111

Date: 12-17-20



EXISTING GARAGE DATA	
Area	Height
100 (Sq Ft) / 12' (Ht)	7' (Ht) - 8'12" (Ht) and Level 1 FFE = 832'0"
7 (Sq Ft) - 8'12" (Ht) and Level 1 FFE = 832'0"	7' (Ht) - 8'12" (Ht) and Level 1 FFE = 832'0"
5 (Sq Ft)	7' (Ht) - 8'12" (Ht) and Level 1 FFE = 832'0"
4 (Sq Ft)	7' (Ht) - 8'12" (Ht) and Level 1 FFE = 832'0"
3 (Sq Ft)	7' (Ht) - 8'12" (Ht) and Level 1 FFE = 832'0"
2 (Sq Ft)	7' (Ht) - 8'12" (Ht) and Level 1 FFE = 832'0"
1 (Sq Ft)	7' (Ht) - 8'12" (Ht) and Level 1 FFE = 832'0"
<b>PROPOSED STRUCTURE BUILDING ENVELOPE DATA</b>	
Area	Height
120 (Sq Ft) / 14.8' (Ht)	120 (Sq Ft) / 14.8' (Ht)
1 (Sq Ft) - 15' (Ht) / 2 = 15'	1 (Sq Ft) - 15' (Ht) / 2 = 15'
2 (Sq Ft) - 15' (Ht) / 2 = 15'	2 (Sq Ft) - 15' (Ht) / 2 = 15'
3 (Sq Ft) - 15' (Ht) / 2 = 15'	3 (Sq Ft) - 15' (Ht) / 2 = 15'
4 (Sq Ft) - 15' (Ht) / 2 = 15'	4 (Sq Ft) - 15' (Ht) / 2 = 15'
5 (Sq Ft) - 15' (Ht) / 2 = 15'	5 (Sq Ft) - 15' (Ht) / 2 = 15'
6 (Sq Ft) - 15' (Ht) / 2 = 15'	6 (Sq Ft) - 15' (Ht) / 2 = 15'
7 (Sq Ft) - 15' (Ht) / 2 = 15'	7 (Sq Ft) - 15' (Ht) / 2 = 15'
8 (Sq Ft) - 15' (Ht) / 2 = 15'	8 (Sq Ft) - 15' (Ht) / 2 = 15'
9 (Sq Ft) - 15' (Ht) / 2 = 15'	9 (Sq Ft) - 15' (Ht) / 2 = 15'



ADJOINING TO THE WEST EXISTING RAILWAY PARKING GARAGE RLC.

DASHED LINE AND DIAGONAL HATCH INDICATES PROPOSED BUILDING VOLUME.

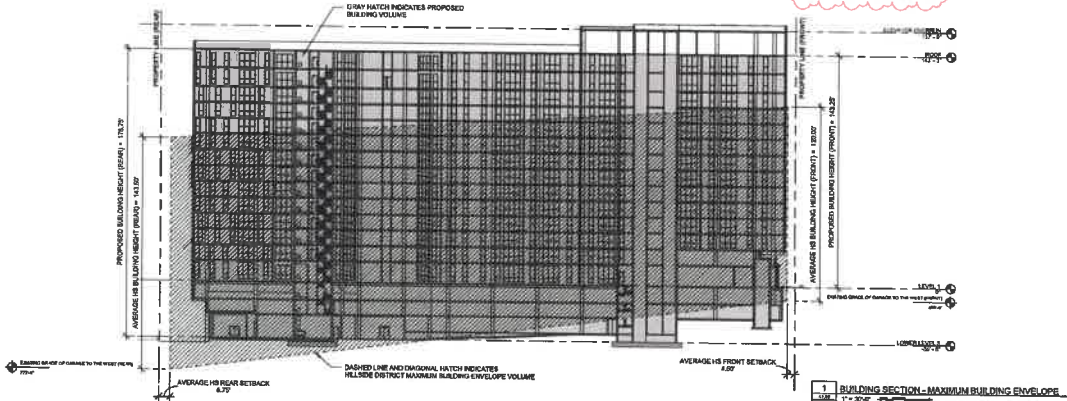
DASHED LINE AND DIAGONAL HATCH INDICATES HELD SIDE DISTRICT MAXIMUM BUILDING ENVELOPE VOLUME.

PROPERTY LINE.

ADJOINING TO THE WEST EXISTING RAILWAY PARKING GARAGE RLC.

2 SITE PLAN - MAXIMUM BUILDING ENVELOPE  
1" = 30'-0"

WESTERLIEST PROPERTY LINE ADJUSTED TO REFLECT ROW DEDICATION

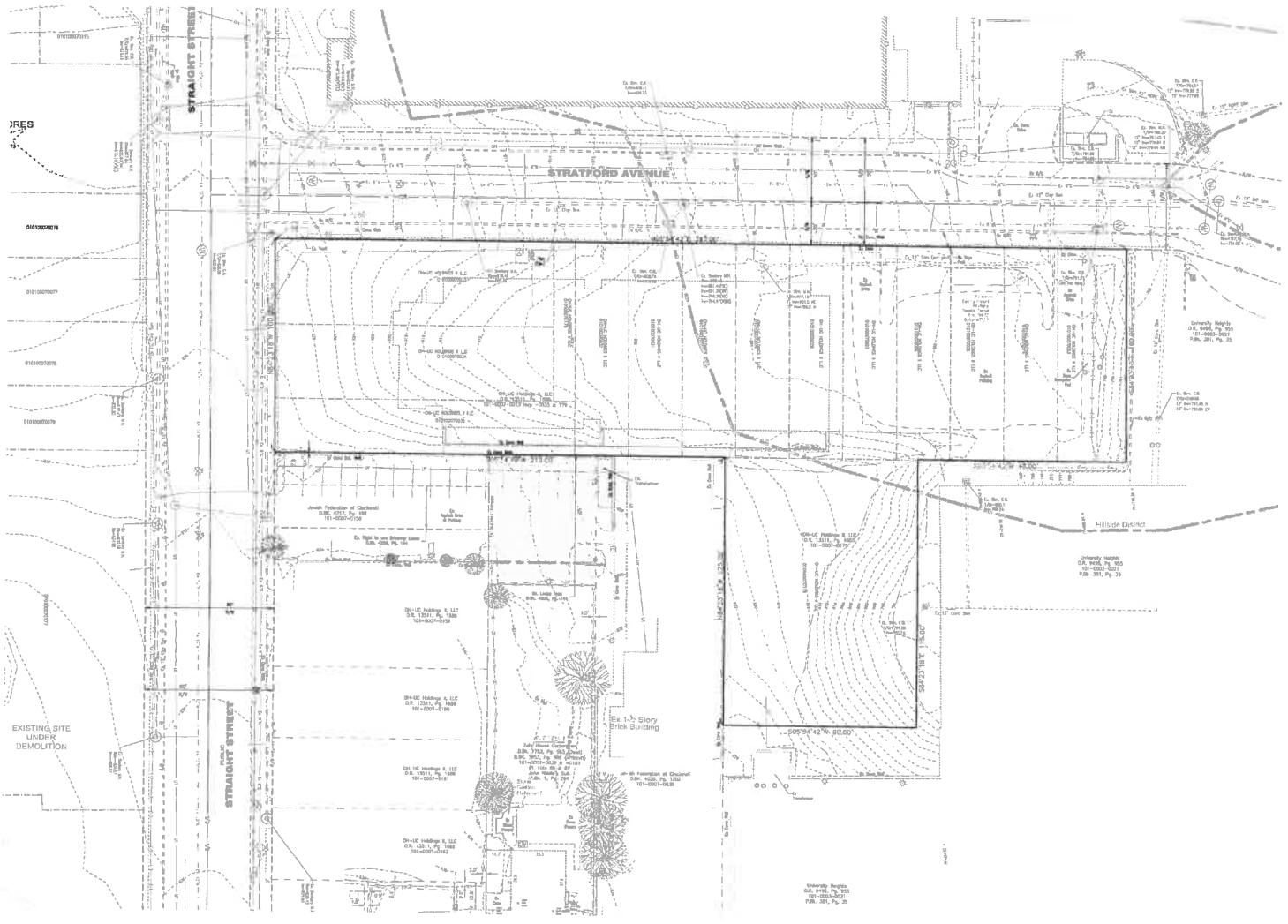


1 BUILDING SECTION - MAXIMUM BUILDING ENVELOPE  
1" = 20'-0"

APPROVAL STAMP:	
DATE:	
BY:	
TITLE:	TABLE FOR FINAL DEVELOPMENT PLAN REVIEW
REVISION:	REVISION FOR FINAL DEVELOPMENT PLAN REVIEW
SUBMISSIONS & REVISIONS	
OWNER - STUDENT RESIDENCES	
CORE SPACES	
140 N WALNUT AVE CHICAGO, IL 60607 MAN: 312.415.2704	
ARCHITECT - PARKING STRUCTURE	
ON-LEO HOLDINGS II LLC 160 NORTH MICHIGAN STREET SUITE 200 CHICAGO, IL 60607 MAN: 312.415.2704	
CONSULTANT	
ANTUNOVICH ASSOCIATES	
324 WEST MICHIGAN STREET, SUITE 202 CHICAGO, IL 60604 MAN: 312.286.1129 FAX: 312.286.1125 ANTUNOVICH.COM STRUCTURAL ENGINEER	
DCI ENGINEERS	
515 NORTH CONGRESS AVE, SUITE 400 CHICAGO, IL 60610 312.616.8100	
MECHANICAL & P.E. ENGINEERS	
MECHANICAL ENGINEER	
BAYER BECKER	
150 NORTH WABASH STREET, SUITE 204 CHICAGO, IL 60602 312.334.4151	
ARCHITECT	
MCKEY	
205 NORTH MICHIGAN STREET EVANSTON, IL 60201 312.421.9000	
GENERAL CONTRACTOR	
J.H. FENDROFF & SON INC.	
301 S. DESPLAIN STREET MADISON, WI 53703 562.257.1501	
PROJECT LOCATION	
HUB AT CINCINNATI	
880 STRAIGHT STREET CINCINNATI, OH	
DRAWING TITLE	
SITE PLAN - MAXIMUM BUILDING ENVELOPE	
SCALE:	DRAWN BY:
CHECKED BY:	PROJECT NO:
DRAWING NO: A1.02	
C:\PROJECTS\2011	



**811**  
 Know what's below.  
 Call before you dig.  
 LOCATIONS OF ALL EXISTING UTILITIES TO BE  
 DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION



<p>DEVELOPMENT PLAN REVIEW</p> <p>ISSUE FOR PRICING</p> <p>ILLUMINATIONS &amp; REVISIONS</p> <p>OWNER - STUDENT REUNIONS</p> <p>CORE SPACES        1645 N. ELSTON AVENUE        CHICAGO, IL 60642        773.585.1748</p> <p>PARKER - PARKING STRUCTURE</p> <p>CH-AC HOLDINGS II LLC        100 NORTH ELSTON STREET        SUITE 200        CHICAGO, IL 60642        MARI: 312.819.2794</p> <p>ARCHITECT</p> <p><b>ANTUNOVICH ASSOCIATES</b>        324 WEST HAWTHORN STREET, SUITE 701        CHICAGO, IL 60604        MARI: 312.263.1128        FAX: 312.263.7120        ANTUNOVICH@AAS.COM</p> <p>STRUCTURAL ENGINEER</p> <p>DCI ENGINEERS        3140 N. CANTON AVENUE, SUITE 800        AUSTIN, TX 78704        817.676.0616</p> <p>M.E.K. &amp; P. ENGINEERS</p> <p>MEV ENGINEERS</p> <p><b>BAYER BECKER</b>        104 RACE STREET, SUITE 204        CINCINNATI, OH 45202        616.566.8161</p> <p>LANDSCAPE ARCHITECT</p> <p>MBCK        202 SOUTH MERIDIAN STREET        KOKOMO, IN 46725        317.423.9800</p> <p>GENERAL CONTRACTOR</p> <p>J.N. FINDERFF &amp; SON INC.        200 S. BROADFORD STREET        MADISON, WI 53702        608.557.0211</p> <p>HUB LOCATION</p> <p>HUB AT CINCINNATI</p> <p>DRAWING TITLE</p> <p>SITE SURVEY</p> <p>DATE: 11/26/20        DRAWN BY: [blank]        CHECKED BY: [blank]        PROJECT NO.: [blank]</p> <p>DRAWING NO.: <b>C2.00</b></p>	
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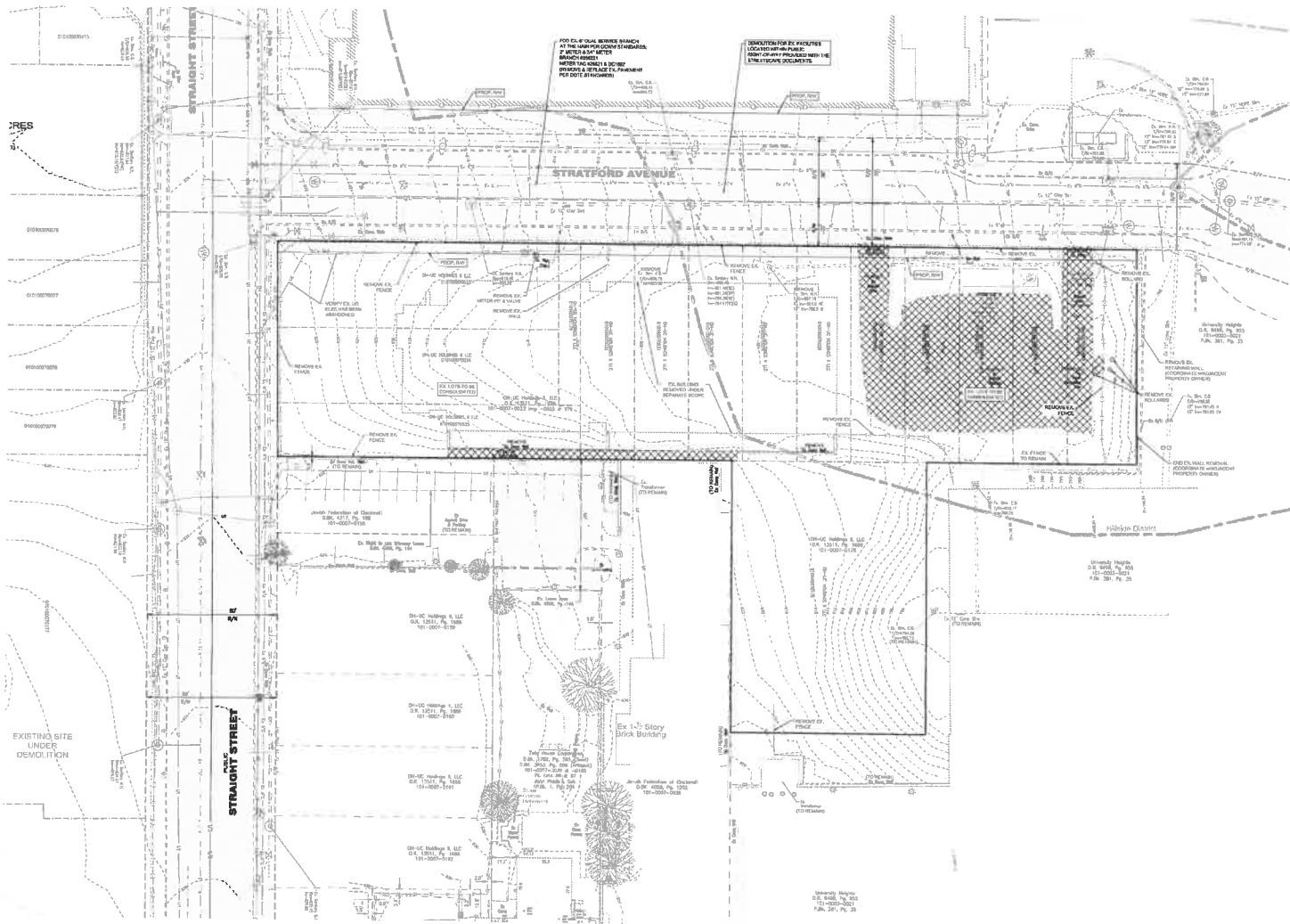
**811**  
 Know what's below.  
 Call before you dig.  
 LOCATION OF ALL EXISTING UTILITIES TO BE  
 DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION



**LEGEND**

REMOVE EXISTING PAVEMENT

ARE STREETSCAPE PLANS FOR WORK WITHIN PUBLIC RIGHT-OF-WAY



RES

0103000076  
 0103000077  
 0103000078  
 0103000079

EXISTING SITE UNDER DEMOLITION

1:00=20 1/8\"/>

<p>811 Know what's below. Call before you dig. LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION</p>	
<p><b>LEGEND</b></p> <p> REMOVE EXISTING PAVEMENT</p> <p> ARE STREETSCAPE PLANS FOR WORK WITHIN PUBLIC RIGHT-OF-WAY</p>	
<p>DEVELOPMENT PLAN REVIEW</p> <p>ISSUE FOR PERMIT</p> <p>DESIGN REVIEW</p> <p>PERMITS &amp; REVISIONS</p> <p>PERMIT - BRIDGIT RESIDENCES</p>	
<p><b>CORE SPACES</b>        160 W MILLWAUKEE AVE        CHICAGO, IL 60607        775.99.1740</p>	
<p><b>OWNER - PARKING STRUCTURE</b></p>	
<p><b>OH-UC HOLDINGS II LLC</b>        176 NORTH LAUGHACH STREET        SUITE 200        CHICAGO, IL 60607        MAN: 312.616.2754</p>	
<p>ARCHITECT</p> <p><b>ANTUNOVICH ASSOCIATES</b>        224 WEST HENRIOT STREET, SUITE 700        CHICAGO, IL 60606        MAN: 312.288.1128        FAX: 312.288.7125        ANTUNOVICH.COM</p>	
<p>STRUCTURAL ENGINEER</p> <p><b>DCI ENGINEERS</b>        615 SOUTH CONGRESS AVE, SUITE 800        AUSTIN, TX 78704        512.876.1078</p>	
<p>M.E.P. &amp; P. ENGINEER</p>	
<p> civil ENGINEER</p> <p><b>BAUER BECKER</b>        1404 RACE STREET, SUITE 204        CHICAGO, IL 60607        616.834.8151</p>	
<p>SCAPE ARCHITECT</p> <p><b>MRKSK</b>        205 SOUTH MERIDIAN STREET        BIRMINGHAM, AL 35205        317.423.9900</p>	
<p>GENERAL CONTRACTOR</p> <p><b>J.J. FINDERHFF &amp; SON INC.</b>        300 S. MICHIGAN STREET        BANNING, CA 92530        909.287.4321</p>	
<p>PROJECT LOCATION</p> <p><b>HUB AT CINCINNATI</b></p>	
<p>DRAWING TITLE</p> <p><b>SITE DEMOLITION PLAN</b></p>	
DATE	DRAWN BY:
	11/06/20
	CHECKED BY:
	PROJECT NO.:
DRAWING NO.:	
<b>C2.01</b>	

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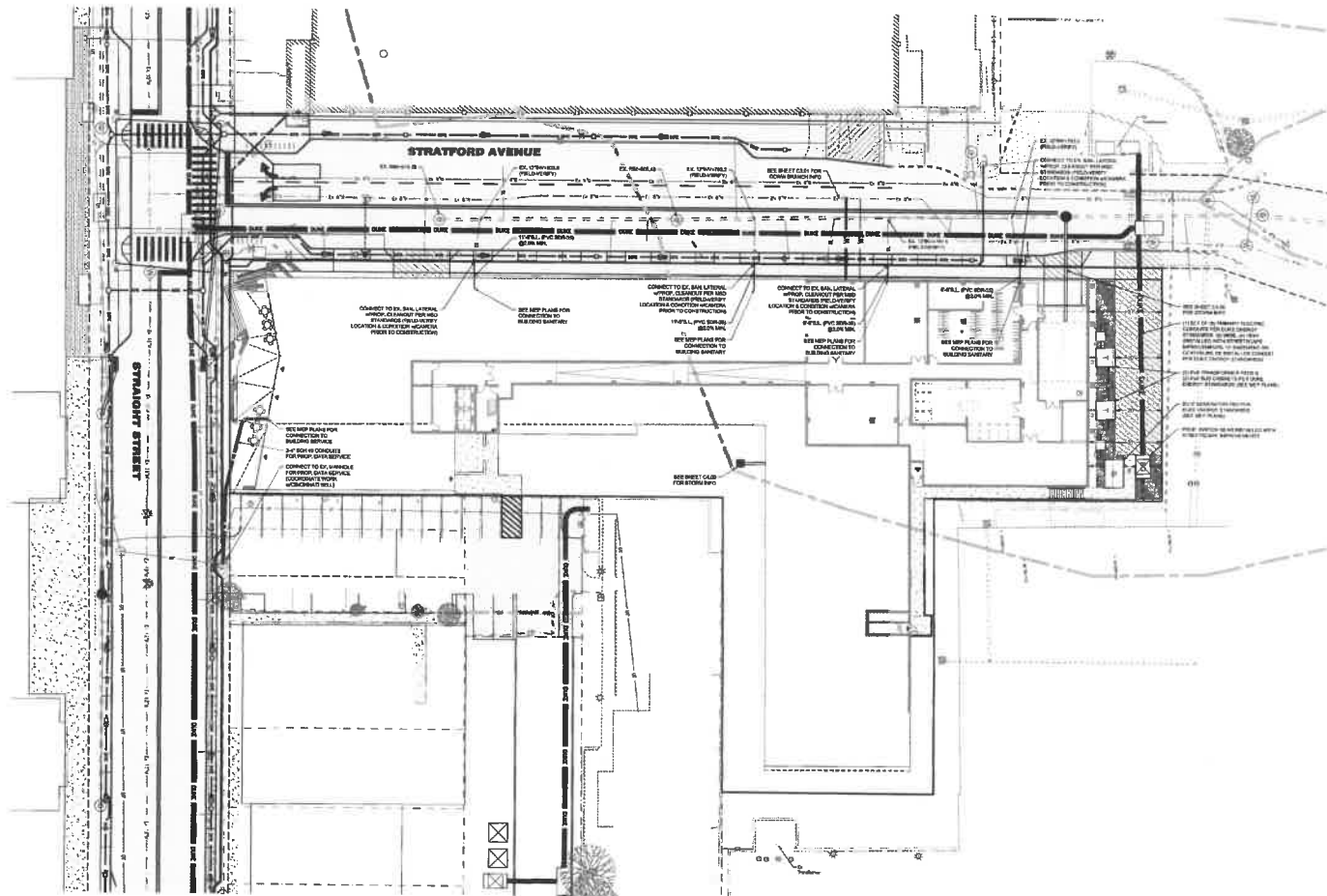


**LEGEND**

SEE STREETScape PLANS FOR WORK WITHIN PUBLIC RIGHT-OF-WAY

**MSD SEWER NOTES**

1. LEGEND:  
 SL = SANITARY LATERAL  
 CSMSO = COMBINATION STORM AND SANITARY SERVICE  
 CS = CLEANOUT  
 SANITARY PIPE MATERIAL SHALL BE 8" PVC EDH-35 @ 2.0% MINIMUM.
2. SANITARY PIPE MATERIAL SHALL BE 8" PVC EDH-35 @ 2.0% MINIMUM.
3. IF LOWEST LEVEL ELEVATION IS BELOW FIRM ELEVATION OF UNDERSTAIRS/RAVINE, THEY TOO MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.
4. ANY EXISTING MANHOLE IS TO BE CALLED TO BE ADJUSTED TO GRADE. DIMENSIONS FOR SANITARY MANHOLE ADJUSTMENT, ACCESSION NUMBER 6058 OF 1065.



APPROVAL STAMP
DEVELOPER PLAN REVIEW
FOR PERCING
DESIGN REVIEW
REVISIONS & REVISIONS
LIGHT PERMITS
<b>CORE SPACES</b> 150 N. WALKER AVE CHICAGO, IL 60607 773.967.6747
<b>OWNER - PARKING STRUCTURE</b> <b>OH-UC HOLDINGS II LLC</b> 150 NORTH WASHINGTON STREET SUITE 200 CHICAGO, IL 60607 MARK: 312.616.2704
<b>ARCHITECT</b> <b>ANTUNOVICH ASSOCIATES</b> 234 WEST MADISON ST 8TH FL, SUITE 701 CHICAGO, IL 60606 MARK: 312.388.1158 FAX: 312.388.7122 ANTUNOVICH.COM
<b>MECHANICAL ENGINEER</b> <b>DCA ENGINEERS</b> 316 NORTH CONGRESS AVE, SUITE 600 ALTON, IL 62004 618.935.8916
<b>E.P. &amp; P. ENGINEERS</b>
<b>MECHANICAL ENGINEER</b> <b>BAVEEN BECKNER</b> 1404 EACE STREET, SUITE 204 CHICAGO, IL 60606 618.84.8157
<b>ARCHITECT</b> <b>MRSK</b> 200 SOUTH MERRILL STREET NORWALK, IL 62450 618.423.9000
<b>GENERAL CONTRACTOR</b> <b>J.R. FINDERFF &amp; SON INC.</b> 3045 WEST 121ST STREET MADISON, WI 53705 608.271.8221
<b>PROJECT LOCATION</b> <b>HUB AT CINCINNATI</b>
<b>PROJECT TITLE</b> <b>SITE UTILITY SERVICE PLAN</b>
<b>DATE</b> 1/10/20
<b>DRAWN BY</b> CH
<b>CHECKED BY</b> JF
<b>PROJECT NO.</b> <b>C3.00</b>
<small>COPYRIGHT 2020</small>

1/10/20 11:25:26 AM

**811**  
 Know what's below.  
 Call before you dig.  
 LOCATION OF ALL EXISTING UTILITIES TO BE  
 DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION



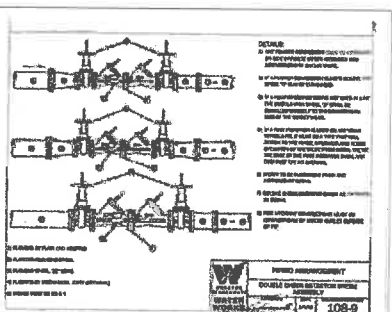
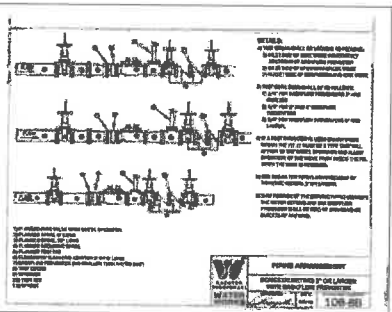
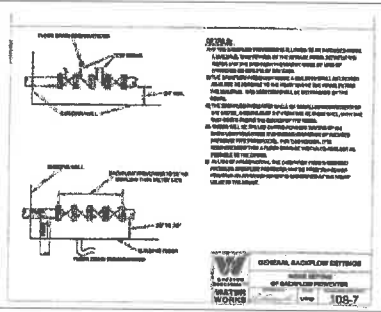
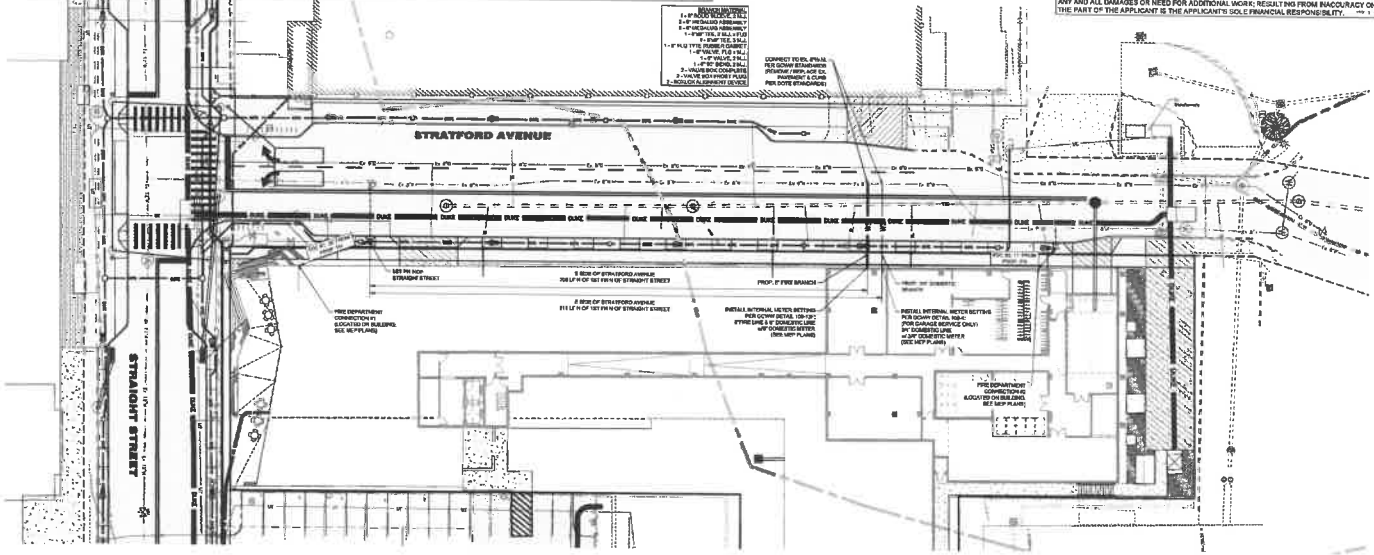
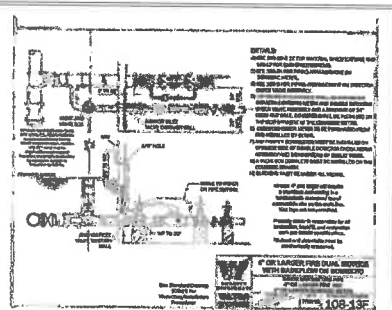
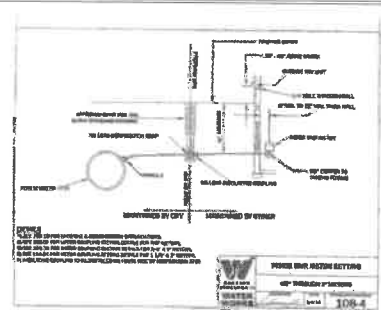
**LEGEND**

SEE STREETScape PLANS  
 FOR MARK WITHIN PUBLIC  
 RIGHT-OF-WAY

**BRANCH APPLICATION DRAWING VERIFY DISCLAIMER**  
 THIS PLATISHEET HAS BEEN PREPARED BY THE APPLICANT FOR WATER SERVICE.  
 ALL EXISTING UTILITY AND RECORD INFORMATION DEPICTED ON THE DRAWING, INCLUDING  
 BUILDING FOOTPRINTS WHICH MUST SHOW ANY ENCROACHMENTS INTO THE PUBLIC RIGHT  
 OF WAY, INCLUDING, BUT NOT LIMITED TO, BASEMENT AREAS, ROOF ELEVATIONS AND COALS,  
 ARE THE RESULT OF RESEARCH BY THIS APPLICANT.  
 ANY AND ALL DAMAGES OR NEED FOR ADDITIONAL WORK, RESULTING FROM INACCURACY ON  
 THE PART OF THE APPLICANT IS THE APPLICANT'S SOLE FINANCIAL RESPONSIBILITY.

**GCWW WATER MAIN NOTES**

1. ALL WATER WORK AND WATER MAIN MATERIALS INCLUDING PIPE, FITTINGS, VALVES, HYDRANTS AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF GREATER CHICAGO WATER WORKS, THE MOST RIGID SPECIFICATIONS SHALL GOVERN IN THE EVENT OF A CONFLICT WITH THE PROJECT SPECIFICATIONS.
2. ALL WATER FACILITIES ON THIS PROJECT ARE TO BE PRIVATE.
3. BACKFILL SHALL BE CLASS A WHEN MAIN IS FIVE (5) FEET OR GREATER FROM EXISTING PUBLIC CURB, LESS THAN FIVE (5) FEET FROM EXISTING PUBLIC CURB, UNDER CURB OR EXISTING PUBLIC PAVEMENT BACKFILL SHALL BE CONTROLLED DENSITY FILL.
4. WATER MAINS SHALL MAINTAIN A MINIMUM COVER OF FOUR (4) FEET.
5. A MINIMUM CLEAR DISTANCE OF TEN (10) FEET HORIZONTAL AND EIGHTEN (18) INCHES VERTICAL SHALL BE MAINTAINED BETWEEN SANITARY AND/OR STORM SEWERS AND WATER MAINS.
6. SANITARY AND STORM SEWERS THAT CROSS WATER MAINS SHALL BE LOCATED SUCH THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
7. PRIVATE WATER MAINS BEYOND THE METER PIT MAY BE COOL OR 14 FOR WORKING PRESSURES LESS THAN 150 PSI, FOR DESIGN PRESSURES GREATER THAN 150 PSI, DUCTILES FROM PRESSURE CLASS 200 OR C900 OR 14 SHALL BE USED. SERVICE PIPING SMALLER THAN THREE (3) INCHES SHALL BE SEAMLESS COPPER FLEXIBLE WATER TUBING, ASTM B 81 TYPE K, PRESSURE CLASS 250.



PROPOSED STRABE	
DEVELOPER/PLANNING	
DESIGN REVIEW	
APPROVALS & REVISIONS	
OWNER - STUDENT RESIDENCES	
CORE SPACES 763 N BALDWIN AVE CHICAGO, IL 60617 773.988.9740	
OWNER - PARKING STRUCTURE	
ONALIC HOLDINGS II LLC 140 NORTH RANDOLPH STREET SUITE 200 CHICAGO, IL 60602 312.463.2764	
ARCHITECT	
ANTUNOVICH ASSOCIATES 234 WEST MADISON STREET, SUITE 702 CHICAGO, ILLINOIS 60604 440.312.208.1129 ANTUNOVICH.COM STRUCTURAL ENGINEER	
DCI ENGINEERS 215 SOUTH CONSERVATION AVE, SUITE 400 ALTON, IL 62924 618.474.8911	
E.P. & F.P. ENGINEERS	
EVA ENGINEER	
BAYNE BECKER 146 EAST STREET, SUITE 204 CHICAGO, IL 60602 616.824.8131	
SCAPE ARCHITECT	
MEEK 200 SOUTH MERIDIAN STREET INDIANAPOLIS, IN 46225 317.423.9000	
GENERAL CONTRACTOR	
J.H. FINDORFF & SON INC. 300 WEST WASHINGTON STREET MADISON, IN 47502 465.261.5211	
JOB LOCATION	
HUB AT CINCINNATI	
DRAWING TITLE	
GCWW BRANCH APPLICATION PLAN	
DATE	SCALE
1/10/2009	1/8"=1'-0"
CHECKED BY	PROJECT NO.
DRAWING NO.	
C3.01	
CIVIL/PE	

UNIVERSITY OF ILLINOIS





SHEET #	SHEET NAME	ISSUE FOR CORE - TECHNICAL DESIGN REVIEW	ISSUE FOR FINAL DEVELOPMENT PLAN REVIEW
<b>00 GENERAL</b>			
0000	COVER PAGE	+	+
0001	DATA TABLES	+	+
0002	GENERAL INFORMATION & NOTICE	+	+
0003	CODE MATRIX	+	+
<b>01 CIVIL</b>			
0100	UTILITY NETWORK & DETAILS	+	+
0101	SITE SURVEY	+	+
0102	SITE DEMARCATION PLAN	+	+
0103	SITE UTILITY SERVICE PLAN	+	+
0104	SEWER MANHOLE APPLICATOR PLAN	+	+
0105	SITE DRAINAGE & EROSION PLAN	+	+
<b>02 LANDSCAPE</b>			
0200	LANDSCAPE AND LAYOUT PLAN	+	+
0201	LANDSCAPE PLAN	+	+
0202	PLANTING PLAN	+	+
<b>03 ARCHITECTURAL</b>			
A100	GENERAL ARCHITECTURAL	+	+
A101	SITE PLAN - MASSING & FOOTING ENVELOPE	+	+
A200	FLOOR PLANS - UPPER FLOOR, LOWER LEVEL 1	+	+
A201	FLOOR PLANS - LOWER LEVEL 1 AND LOWER LEVEL 2	+	+
A202	FLOOR PLANS - LOWER LEVEL 2 AND LOWER LEVEL 3	+	+
A203	FLOOR PLANS - LOWER LEVEL 3 AND LOWER LEVEL 4	+	+
A204	FLOOR PLANS - LOWER LEVEL 4 AND LOWER LEVEL 5	+	+
A205	FLOOR PLANS - LOWER LEVEL 5 AND LOWER LEVEL 6	+	+
A206	MECHANICAL TYPICAL UNIT PLANS	+	+
A207	POTENTIAL PENETRATIONS	+	+
A208	EXTERIOR WALL FINISHES	+	+
A300	POTENTIAL ELEVATIONS - GENERAL	+	+
A301	POTENTIAL ELEVATIONS - CORNER	+	+
A302	POTENTIAL ELEVATIONS - CORNER	+	+

**HUB AT CINCINNATI**  
 360 STRAIGHT STREET  
 CINCINNATI, OHIO  
**ISSUE FOR FINAL DEVELOPMENT PLAN REVIEW**  
 FEBRUARY 3, 2021

<b>OWNER - STUDENT RESIDENCES CORE SPACES</b>	<b>OWNER - PARKING STRUCTURE OH-UC HOLDINGS II LLC</b>	<b>ARCHITECT</b> ANTUNOVICH ASSOCIATES ARCHITECTURE PLANNING INTERIOR DESIGN	<b>GENERAL CONTRACTOR</b> J.H. FINDORFF & SON INC.	<b>STRUCTURAL ENGINEER</b> DCI ENGINEERS	<b>CIVIL ENGINEER</b> BAYER BECKER	<b>LANDSCAPE ARCHITECT</b> MKSK	<b>INTERIOR DESIGNER</b>
1643 N MILWAUKEE AVE CHICAGO, IL 60647 MAIN: 773. 969. 5740	159 NORTH SANGAMON STREET SUITE 200 CHICAGO, IL 60807 MAIN: 312. 615. 2794	224 WEST HURON STREET, STE 7E CHICAGO, ILLINOIS 60654 MAIN: 312. 266. 1125 FAX: 312. 266. 7123 ANTUNOVICH.COM	300 S. BEDFORD STREET MADISON, WI 53703 MAIN: 608. 257. 5321	515 SOUTH CONGRESS AVE. SUITE 600 AUSTIN, TX 78704 MAIN: 512. 619. 6819	1404 RACE STREET, SUITE 204 CINCINNATI, OH 45202 MAIN: 513. 834. 6151	200 SOUTH MERIDIAN STREET INDIANAPOLIS, IN 46225 MAIN: 317. 423. 9800	

2/20/21 11:57 AM

HUB AT CINCINNATI

Garage square storage is calculated below as defined by the Municipal Code for the City of Cincinnati, Ohio, section 1401.01-05. Gross floor area means the sum of the gross horizontal area of all floors of a building or structure measured from the exterior face of exterior walls or from the centerline of a wall separating two buildings with no deduction for hallways, stairs, closets, balconies or other features. The definition does not include the area of parking facilities within the principal building.

\*GAR is calculated below as defined by the Municipal Code for the City of Cincinnati, Ohio, section 1401.01-07. Gross area ratio means the gross floor area of a building divided by total lot area, but exclusive of such floor area as may be used for parking facilities within the principal building and exclusive of such floor area as may be used for incidental storage, installations of mechanical equipment, heating ventilating and cooling systems and similar uses and the space used in common for recreational purposes by tenants and their guests whose such facilities are not a part of an individual dwelling unit. Areas excluded from GAR calculation are shown in gray below.

Table with columns: LEVEL, FLOOR HEIGHT, OVERALL HEIGHT, COMMON, RECREATION, AMENITY AREA, MECHANICAL, RSF, Public Terrace, Private Terrace/Balcony, BEDROOMS, UNITS, RETAIL, RETAIL, COMMON, AREA, SPACES, Total GSF WITH, Total GSF WITH, FAR area.

UNIT MATRIX OPTION 4 - Wednesday, February 3 2021

Unit Matrix table showing columns for units (1-2, 3-4, 5-6, 7-8, 9-10, 11-12, 13-14, 15-16, 17-18, 19-20), Total Units, 1/2, 3/4, 5/6, 7/8, 9/10, 11/12, 13/14, 15/16, 17/18, 19/20, and Bath.

PLANNED DEVELOPMENT BULK REGULATIONS AND DATA TABLE - UPDATED 5/2021

Large table with columns A-F and rows for Net Site Area, FAR Site Area, Allowable Floor Area Ratio, Max Residential Units, Max Retail/Commercial Space, Loading Berths, Minimum Building Setbacks, Maximum Building Height.

PLANNED DEVELOPMENT ZONING SUMMARY

Summary table with columns for Net Site Area, FAR Site Area, Allowable Floor Area Ratio, Max Residential Units, Max Retail/Commercial Space, Loading Berths, Minimum Building Setbacks, Maximum Building Height.

\*HEIGHT AS MEASURED FROM THE CORNER OF STRATFORD AVE. AND STRAIGHT ST.†

Vertical sidebar containing: DIVISION NUMBER, CITY OF CINCINNATI, CIVIL ENGINEER, ARCHITECT, ENGINEERING, and PROJECT INFORMATION for HUB AT CINCINNATI.

3/20/21 10:42 PM

G0.01



Chapter 9 - Means of Egress
901 General
902 Assembly
903 Occupancy
904 Separation
905 Incidental Uses

Chapter 9 - General Building Heights and Areas
906 Maximum Building Height and Area
907 Maximum Building Height and Area
908 Maximum Building Height and Area

Chapter 9 - General Building Heights and Areas
909 Maximum Building Height and Area
910 Maximum Building Height and Area
911 Maximum Building Height and Area

Chapter 10 - Occupancy
1001 General
1002 Assembly
1003 Educational
1004 Day Care
1005 Business
1006 Office
1007 Retail
1008 Industrial

Chapter 10 - Occupancy
1009 Residential
1010 Institutional
1011 Public
1012 Other

Chapter 10 - Occupancy
1013 Residential
1014 Institutional
1015 Public
1016 Other

Chapter 11 - Accessibility
1101 General
1102 Accessible Routes
1103 Accessible Entrances
1104 Accessible Exits
1105 Accessible Parking

Chapter 11 - Accessibility
1106 Accessible Routes
1107 Accessible Entrances
1108 Accessible Exits
1109 Accessible Parking

Chapter 11 - Accessibility
1110 Accessible Routes
1111 Accessible Entrances
1112 Accessible Exits
1113 Accessible Parking

Chapter 12 - Interior Finishes
1201 General
1202 Ceiling
1203 Floor
1204 Wall
1205 Other

Chapter 12 - Interior Finishes
1206 Ceiling
1207 Floor
1208 Wall
1209 Other

Chapter 12 - Interior Finishes
1210 Ceiling
1211 Floor
1212 Wall
1213 Other

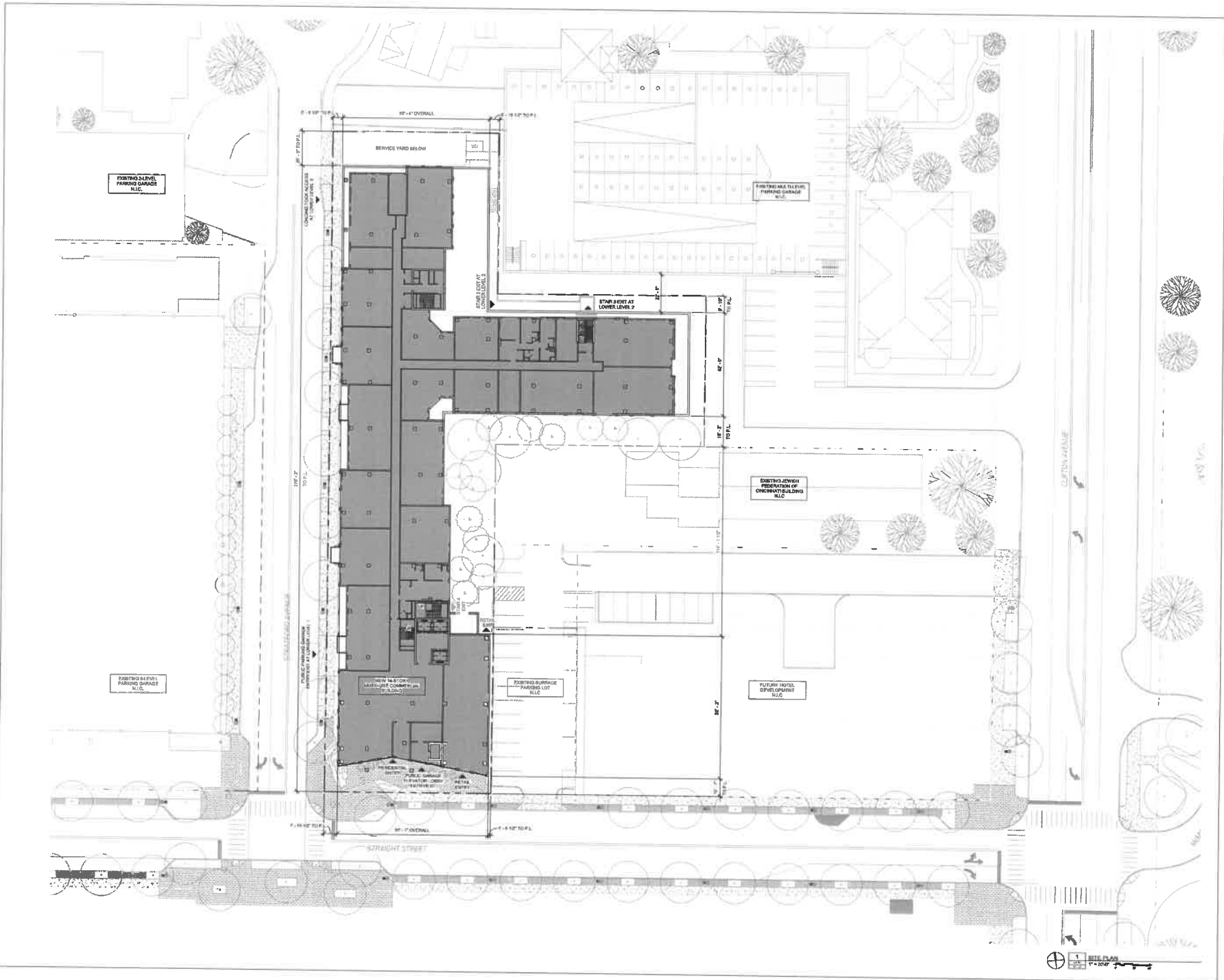
Chapter 13 - Electrical
1301 General
1302 Wiring Methods
1303 Equipment Grounding

Chapter 13 - Electrical
1304 Wiring Methods
1305 Equipment Grounding
1306 Other

Chapter 13 - Electrical
1307 Wiring Methods
1308 Equipment Grounding
1309 Other

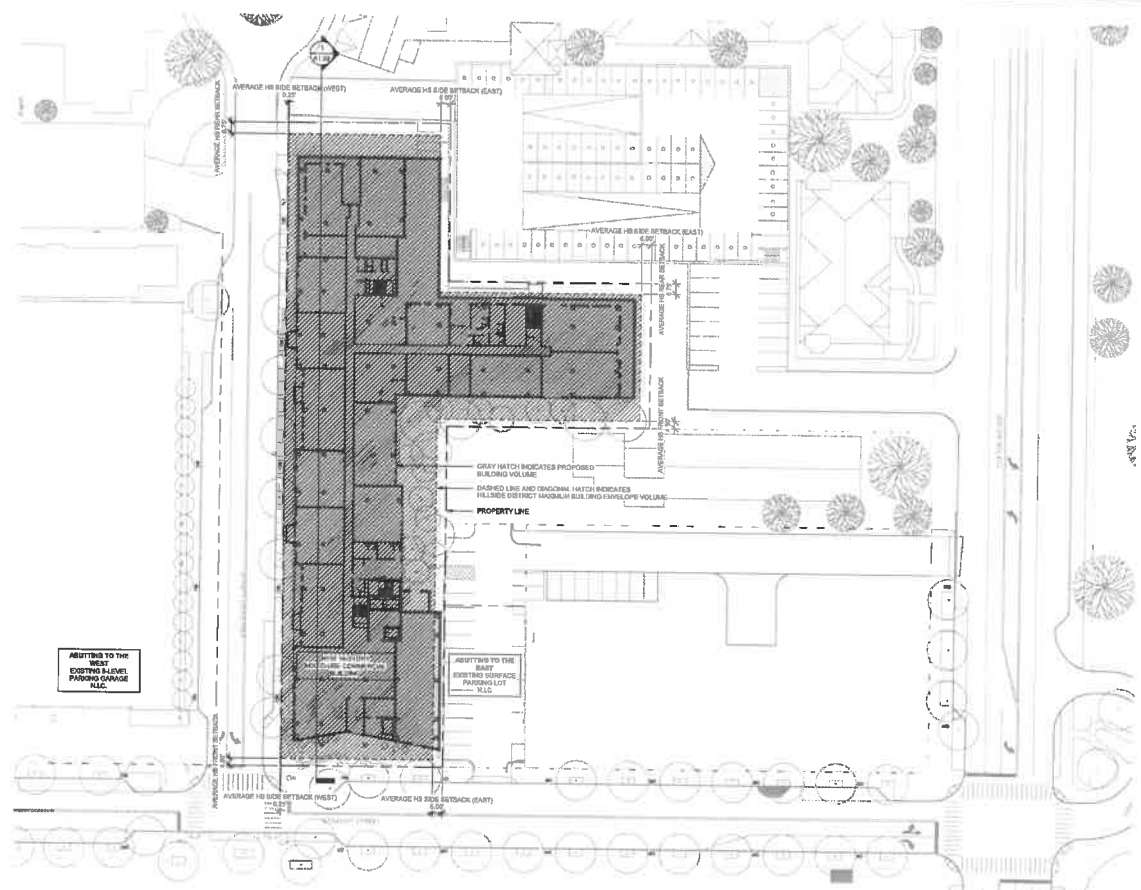
APPROVAL TABLE
CORE SPACES
1631 N MAINWAY AVE
CHICAGO, IL 60607
MAN: 315.456.2744
ANTUNOVICH ASSOCIATES
244 WEST HURON STREET, SUITE 700
CHICAGO, IL 60601
TUNAL ENGINEER
DGT ENGINEERS
150 SOUTH MICHIGAN AVE, SUITE 400
CHICAGO, IL 60604
M.P. & P. ENGINEERS
BAYEN BECKER
1400 RACE STREET, SUITE 204
CHICAGO, IL 60607
LANSKAPPE ARCHITECT
1800 SOUTH MICHIGAN AVE, SUITE 200
CHICAGO, IL 60605
MINKOVICH CONTRACTOR
J.M. FIMBROFF & SON INC.
1800 SOUTH MICHIGAN AVE, SUITE 200
CHICAGO, IL 60605
HUB AT CINCINNATI
CODE MATRIX
G0.03





DATE: 02.23.21	BY: J.P.	FOR: PROJECT DEVELOPMENT PLAN REVIEW
DATE: 02.23.21	BY: J.P.	FOR: SUBMITTAL REVIEW
SUBMISSIONS & REVISIONS		
OWNER - STUDENT FEDERAL BANK		
CORE SPACES 180 N. HALMAUER AVE CHICAGO, IL 60611 773.955.9740		
OWNER - PARKING STRUCTURE OH-AC HOLDINGS II LLC 20 NORTH SACRAMENTO STREET SUITE 200 CHICAGO, IL 60607 MAN: 312.555.2754		
ARCHITECT <b>ANTUNOVICH ASSOCIATES</b> 224 WEST FISHBURN STREET, SUITE 700 CHICAGO, ILLINOIS 60604 MAN: 312.281.1155 FAX: 312.385.7122 ANTUNOVICH.COM		
STRUCTURAL ENGINEER DCI ENGINEERS 515 WEST CONGRESS AVE, SUITE 800 AUSTIN, TX 78704 512.516.8818		
M.E.P. & P.E. ENGINEERS		
CIVIL ENGINEER BAYER BECKER 100 RACE STREET, SUITE 204 CINCINNATI, OH 45202 513.254.4191		
LANDSCAPE ARCHITECT BRESK 200 BOULDER MANSION STREET BIRMINGHAM, AL 35225 205.423.9900		
GENERAL CONTRACTOR J.H. FINDERFF & SON INC. 2415 BROADFORD STREET MADISON, WI 53704 608.267.3257		
PROJECT LOCATION <b>HUB AT CINCINNATI</b>		
PROJECT TITLE <b>SITE PLAN - ARCHITECTURAL</b>		
SCALE	DATE	PROJECT NO.
DRAWING NO.	<b>A1.01</b>	
	COPYRIGHT	

202011181017PM

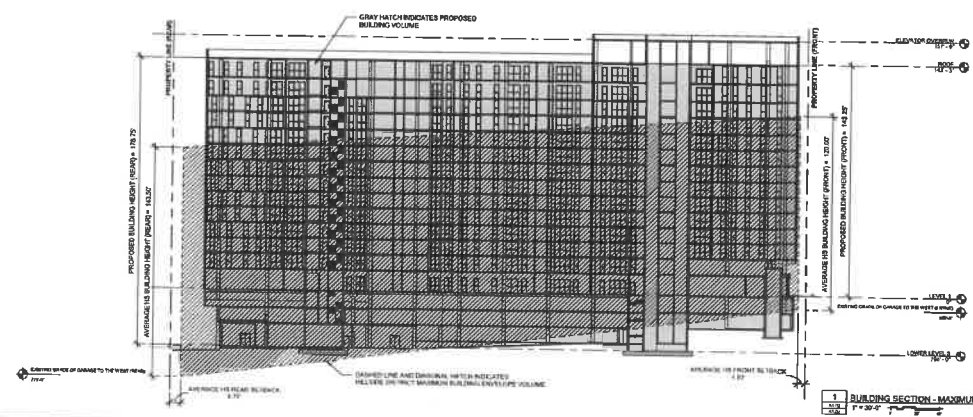


MILWAUKEE OVERLAY DISTRICT - DETERMINATION OF MAXIMUM BUILDING ENVELOPE

City of Milwaukee, Office of Planning and Development, 2019. All rights reserved. Code for the City of Milwaukee, Chapter 22.01(1) Milwaukee Overlay District, section 142.11 - Determination of Maximum Building Envelope

Setback	Requirement
Front	10' (10.0') (10' min)
Side	10' (10.0') (10' min)
Rear	10' (10.0') (10' min)
Height	10' (10.0') (10' min)
Area	10' (10.0') (10' min)
Volume	10' (10.0') (10' min)
Setback	10' (10.0') (10' min)
Height	10' (10.0') (10' min)
Area	10' (10.0') (10' min)
Volume	10' (10.0') (10' min)
Setback	10' (10.0') (10' min)
Height	10' (10.0') (10' min)
Area	10' (10.0') (10' min)
Volume	10' (10.0') (10' min)

2 SITE PLAN - MAXIMUM BUILDING ENVELOPE  
1" = 20'-0"



1 BUILDING SECTION - MAXIMUM BUILDING ENVELOPE  
1" = 20'-0"

DATE: 10/15/2024

PROJECT: HUB AT CINCINNATI

CLIENT: CORE SPACES

DESIGNER: ANTONOVICH ASSOCIATES

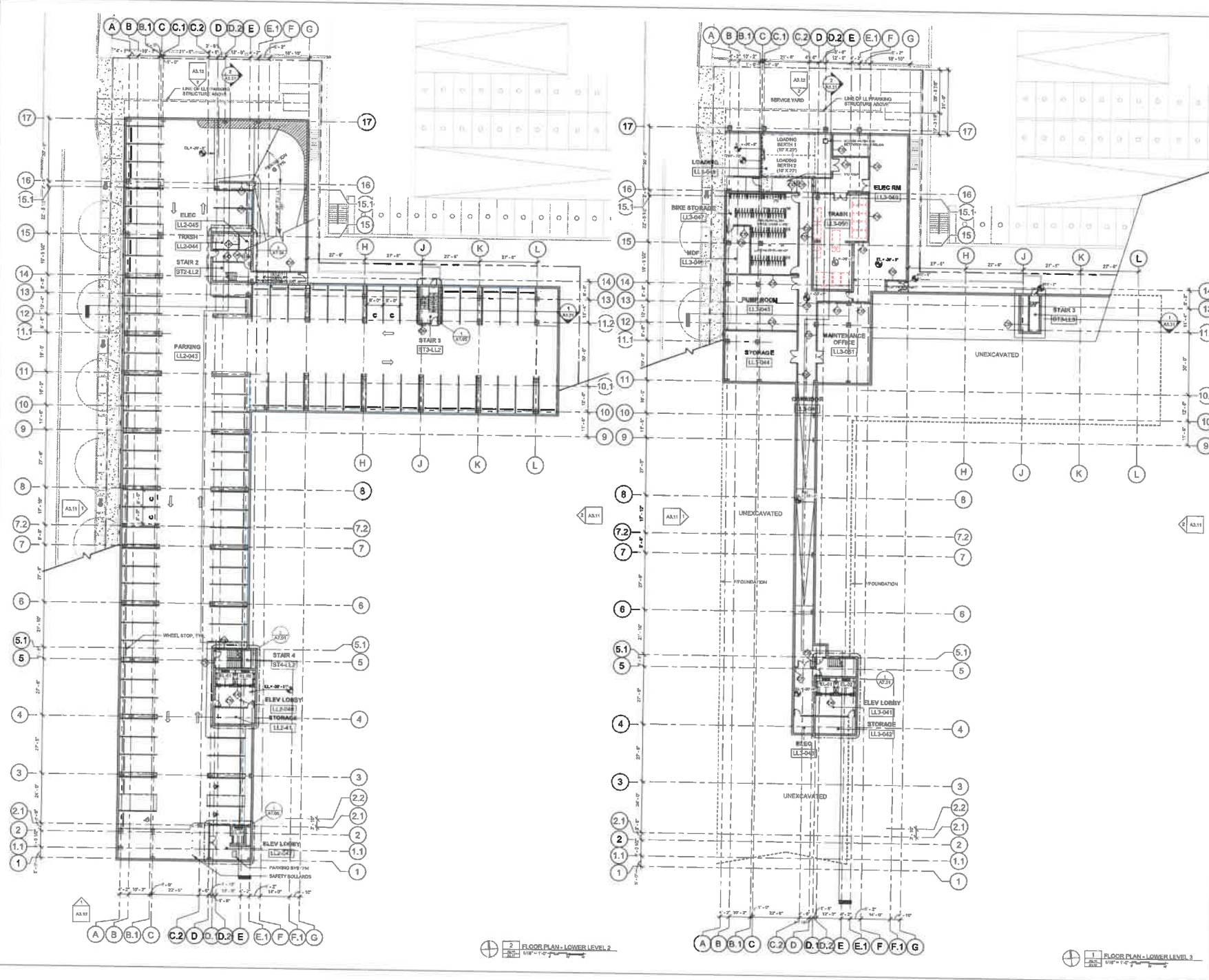
ENGINEER: DCI ENGINEERS

ARCHITECT: BAYER BECKER

CONTRACTOR: J.H. FINDERFF & SON INC.

PROJECT LOCATION: HUB AT CINCINNATI

PROJECT NO: A1.02



REVISIONS

NO.	DATE	DESCRIPTION
1	10/14/17	ISSUE FOR PERMITS
2	10/14/17	ISSUE FOR DESIGN REVIEW
3	10/14/17	ISSUE FOR PRELIMINARY TECHNICAL DESIGN REVIEW

DATE: 10/14/17  
SUBMISSIONS & REVISIONS

PROJECT: STUDENT RESIDENCES B

CORE SPACES  
1620 N. MARSHALL AVE.  
CHICAGO, IL 60647  
773.365.5767

OWNER: PARKING STRUCTURE  
CHLIC HOLDINGS II LLC  
159 NORTH BANGORUM STREET  
SUITE 200  
CHICAGO, IL 60607  
MAIL ROOM: 615.2794

ARCHITECT  
**ANTUNOVICH ASSOCIATES**  
24 WEST WASHINGTON STREET, SUITE 7E  
CHICAGO, ILLINOIS 60604  
MAIL: 312.586.1128  
FAX: 312.586.7128  
ANTUNOVICH.COM  
STRUCTURAL ENGINEER

DCI ENGINEERS  
81 SOUTH COLUMBIA AVENUE, SUITE 400  
AUSTIN, TEXAS 78704  
610.476.5876

M.E.P. & P.E. ENGINEERS

CIVIL ENGINEER  
BAYER BECKER  
1506 ROCK STREET, SUITE 254  
CINCINNATI, OH 45202  
616.354.8541

LANDSCAPE ARCHITECT  
BOKER  
200 SOUTH MERRIMAN STREET  
BIRMINGHAM, AL 35225  
205.423.3625

GENERAL CONTRACTOR  
J.H. FENDORFF & SON INC.  
200 S. BEDFORD STREET  
MADISON, WI 53703  
800.237.6327

PROJECT LOCATION  
HUB AT CINCINNATI

DRAWING TITLE  
FLOOR PLANS - LOWER  
LEVEL 3 AND LOWER  
LEVEL 2

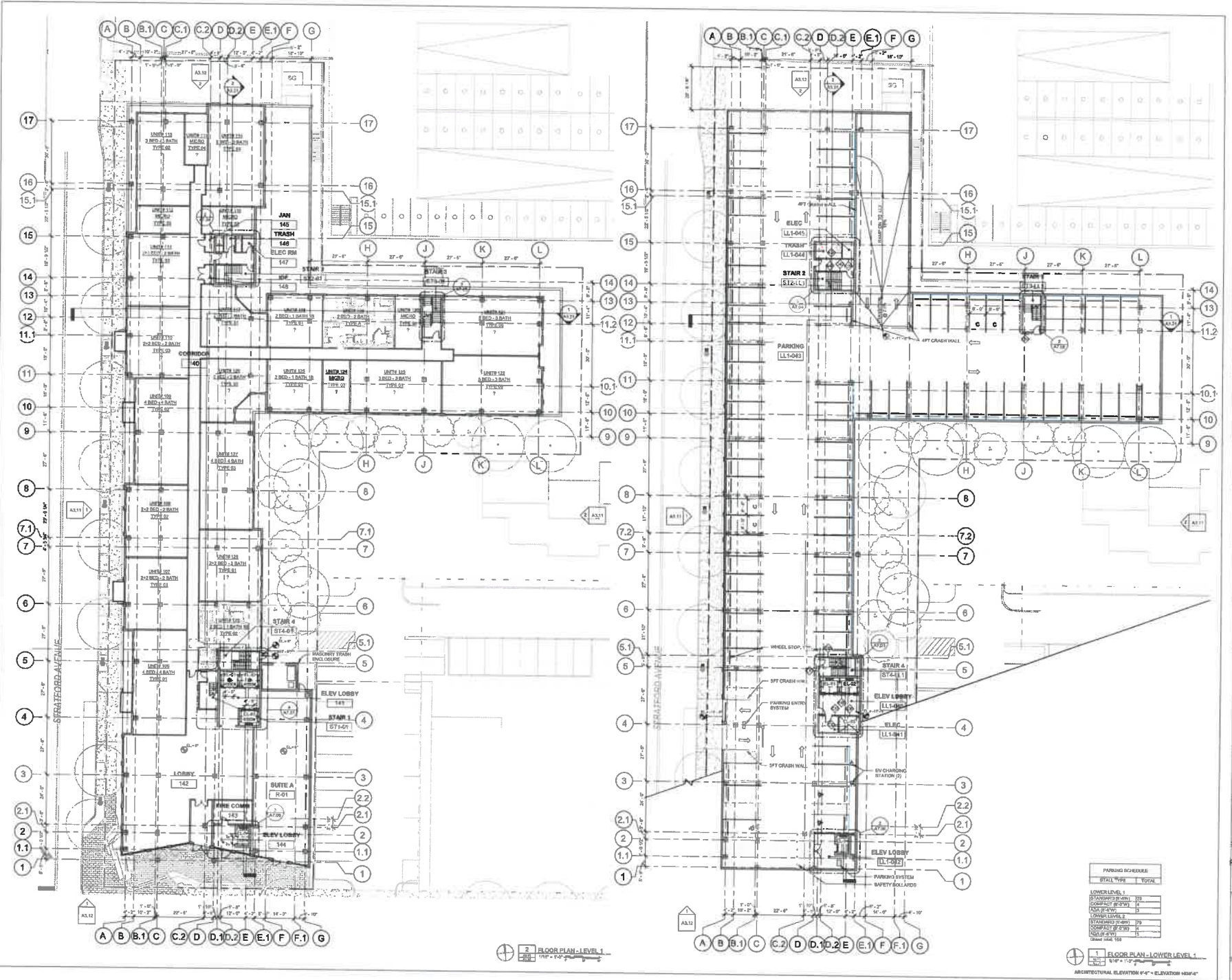
SCALE: 1/8" = 1'-0"

DATE: 10/14/17  
DRAWN BY: [REDACTED]  
CHECKED BY: [REDACTED]  
PROJECT MGR: [REDACTED]

DATE: 10/14/17  
SCALE: 1/8" = 1'-0"

2 FLOOR PLAN - LOWER LEVEL 2  
1/8" = 1'-0"

1 FLOOR PLAN - LOWER LEVEL 3  
1/8" = 1'-0"



GENERAL NOTES

1. SEE NOTICES FOR PRELIMINARY DEVELOPMENT PLAN REVIEW AND PRELIMINARY SUBMISSIONS & REVISIONS

2. CORE SPACES: 1642 N MILWAUKEE AVE. CHICAGO, IL 60647 773.696.6742

OWNER - PARKING STRUCTURE: DHARC HOLDINGS II LLC 1610 NORTH CAROLINA STREET SUITE 200 CHICAGO, IL 60647 773.615.5754

PROJECT: ANTUNOVICH ASSOCIATES ARCHITECTS 224 WEST HURON STREET, SUITE 700 CHICAGO, ILLINOIS 60604 312.235.1122 FAX: 312.266.7123 ANTUNOVICH.COOL

STRUCTURAL ENGINEER: DCI ENGINEERS 616 SOUTH COLUMBIA AVE. SUITE 600 AUSTIN, TX 78704 817.517.0614

M.E.P. & P.E. ENGINEERS: DVA ENGINEER BAYNE BECKER 14826 S. 200TH STREET SUITE 204 612.424.0151

LANDSCAPE ARCHITECT: NICKSK 200 SOUTH MICHIGAN STREET BIRMINGHAM, AL 35203 205.423.9000

GENERAL CONTRACTOR: J.H. FIRNBERG & SON INC. 300 S. BRYANT STREET CHICAGO, ILLINOIS 60607 312.251.5221

PROJECT LOCATION: HUB AT CINCINNATI

DRAWING TITLE: FLOOR PLANS - LOWER LEVEL 1 AND LEVEL 1.1

DATE: 10/20/2017

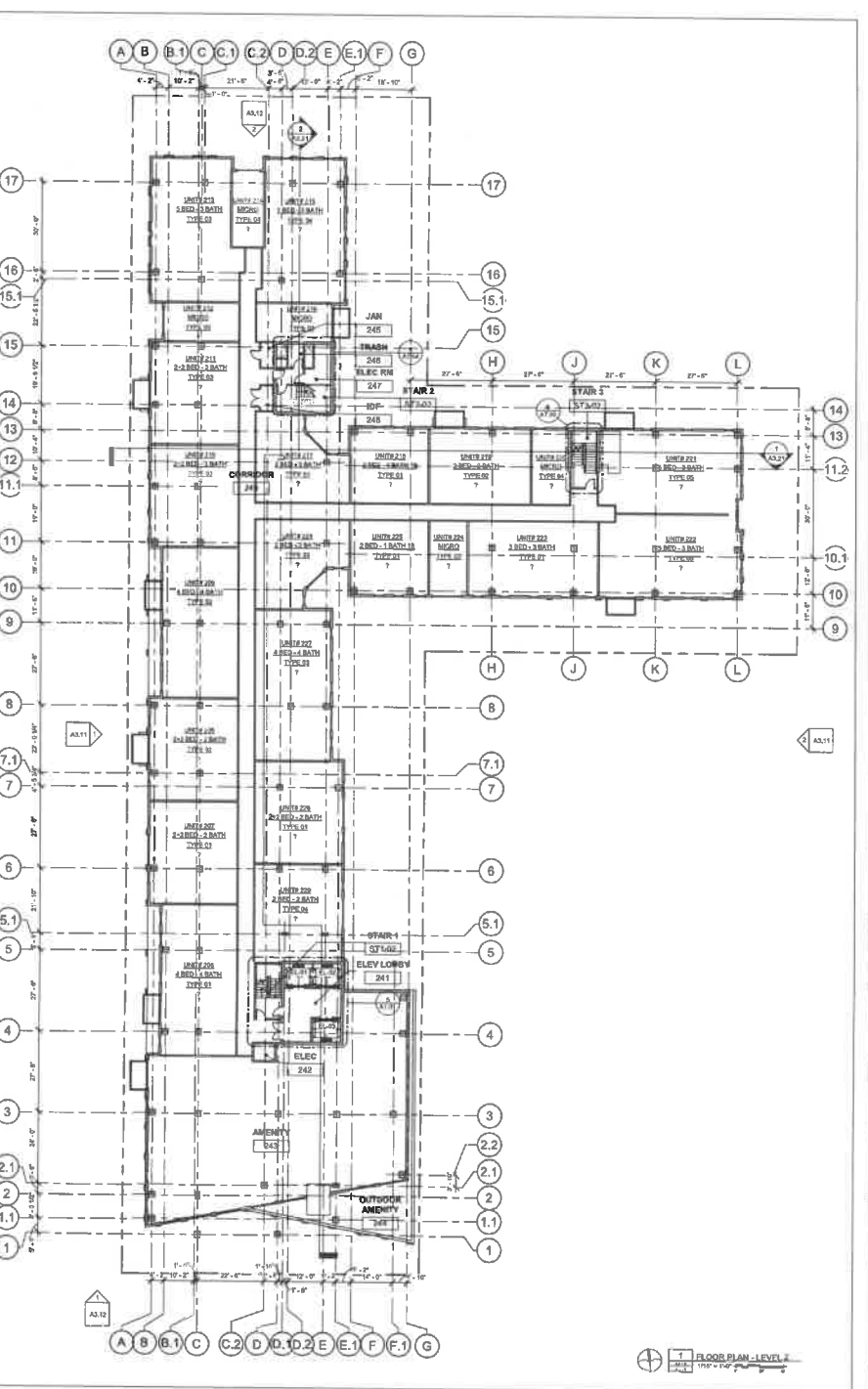
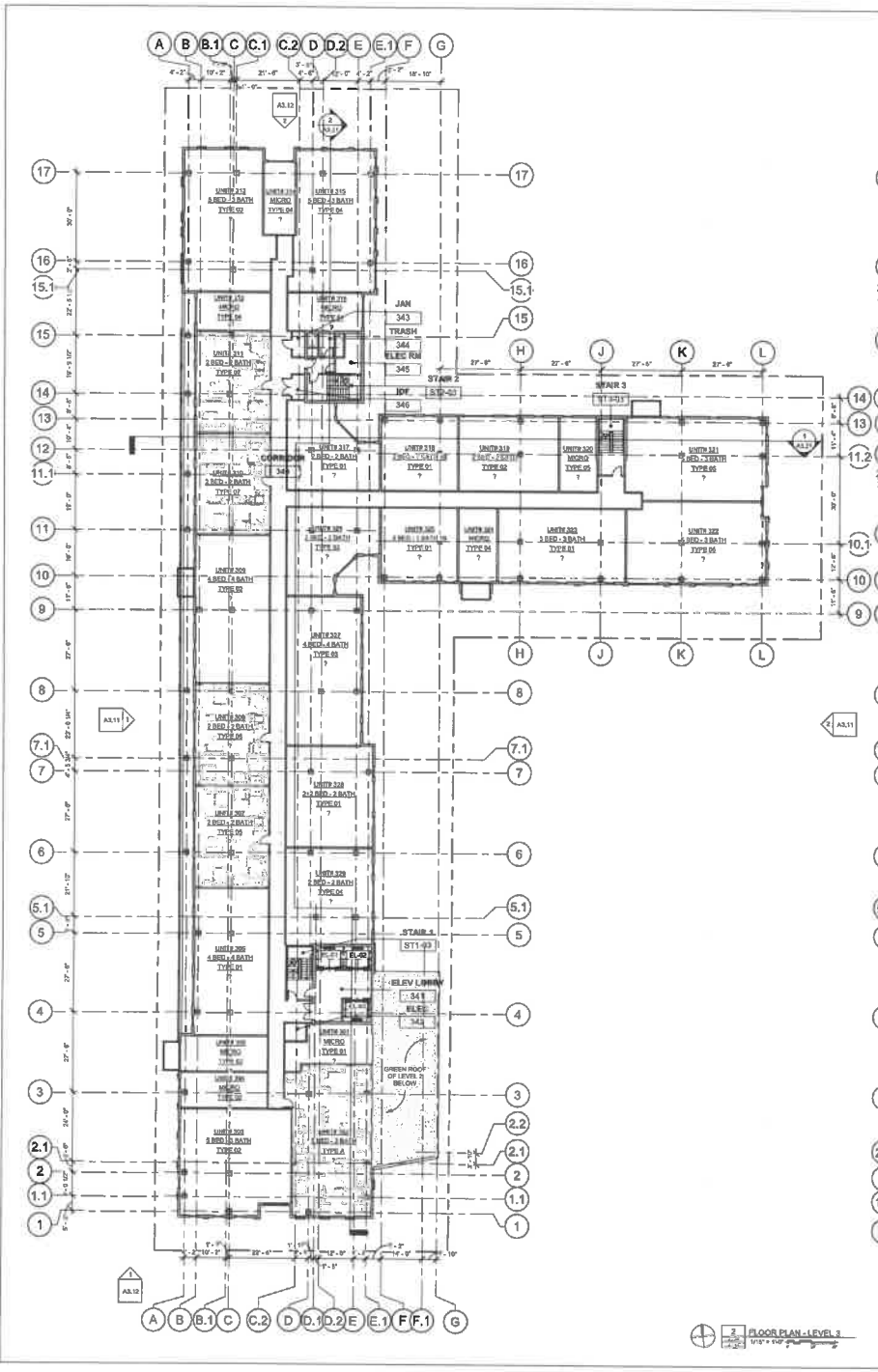
PROJECT NO: A2.01

2 FLOOR PLAN - LEVEL 1  
 1/8" = 1'-0" (VERTICAL)  
 1/4" = 1'-0" (HORIZONTAL)

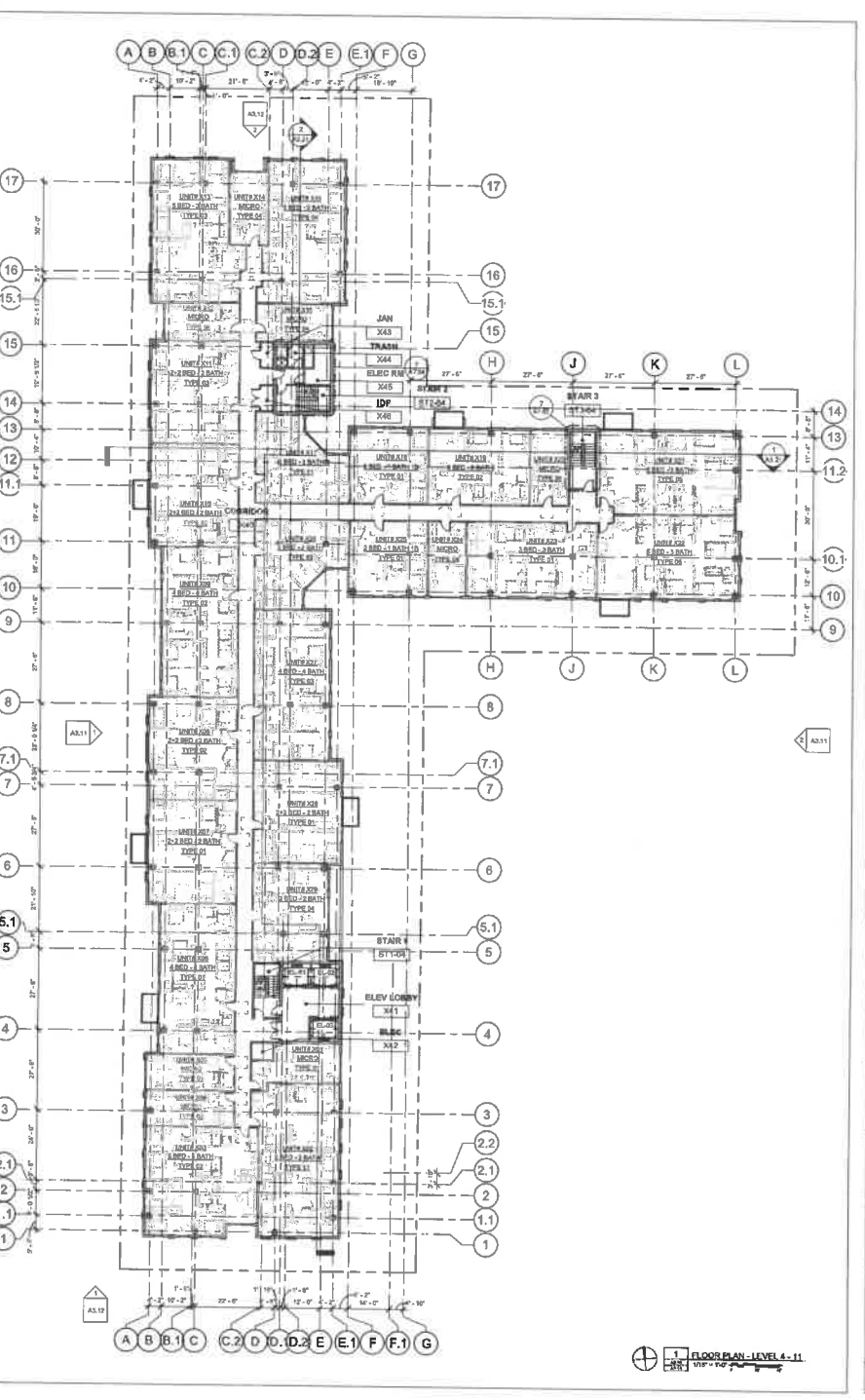
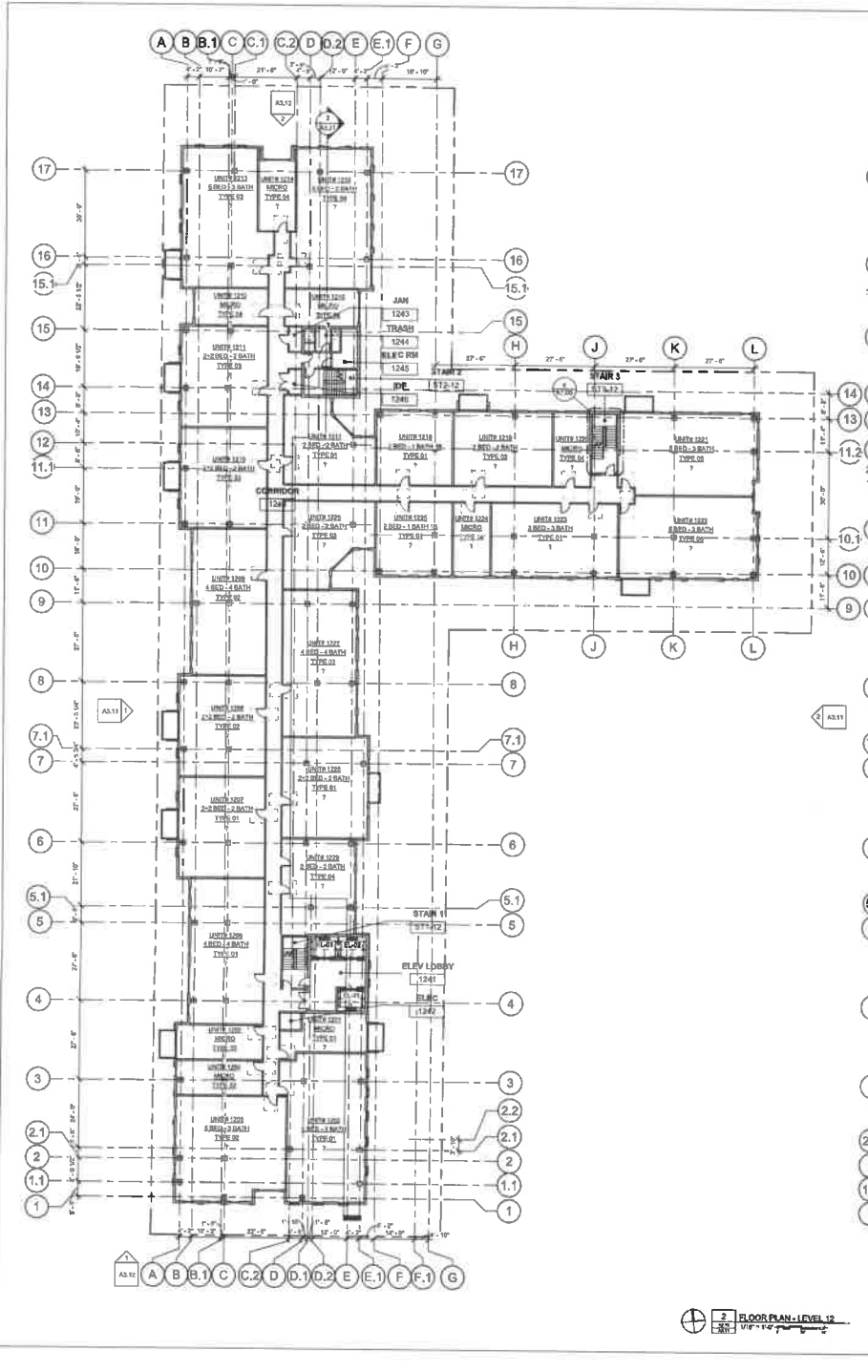
1 FLOOR PLAN - LOWER LEVEL 1  
 1/8" = 1'-0" (VERTICAL)  
 1/4" = 1'-0" (HORIZONTAL)  
 ARCHITECTURAL ELEVATION 6'4" = ELEVATION 4034'-4"

PARKING SCHEDULE		
STALL TYPE	NO.	TOTAL
LOWER LEVEL 1		
STANDARD (S-1)	10	
COMPACT (C-1)	4	
OVERALL		14
LOWER LEVEL 2		
STANDARD (S-2)	10	
COMPACT (C-2)	4	
OVERALL		14

DATE: 10/20/2017

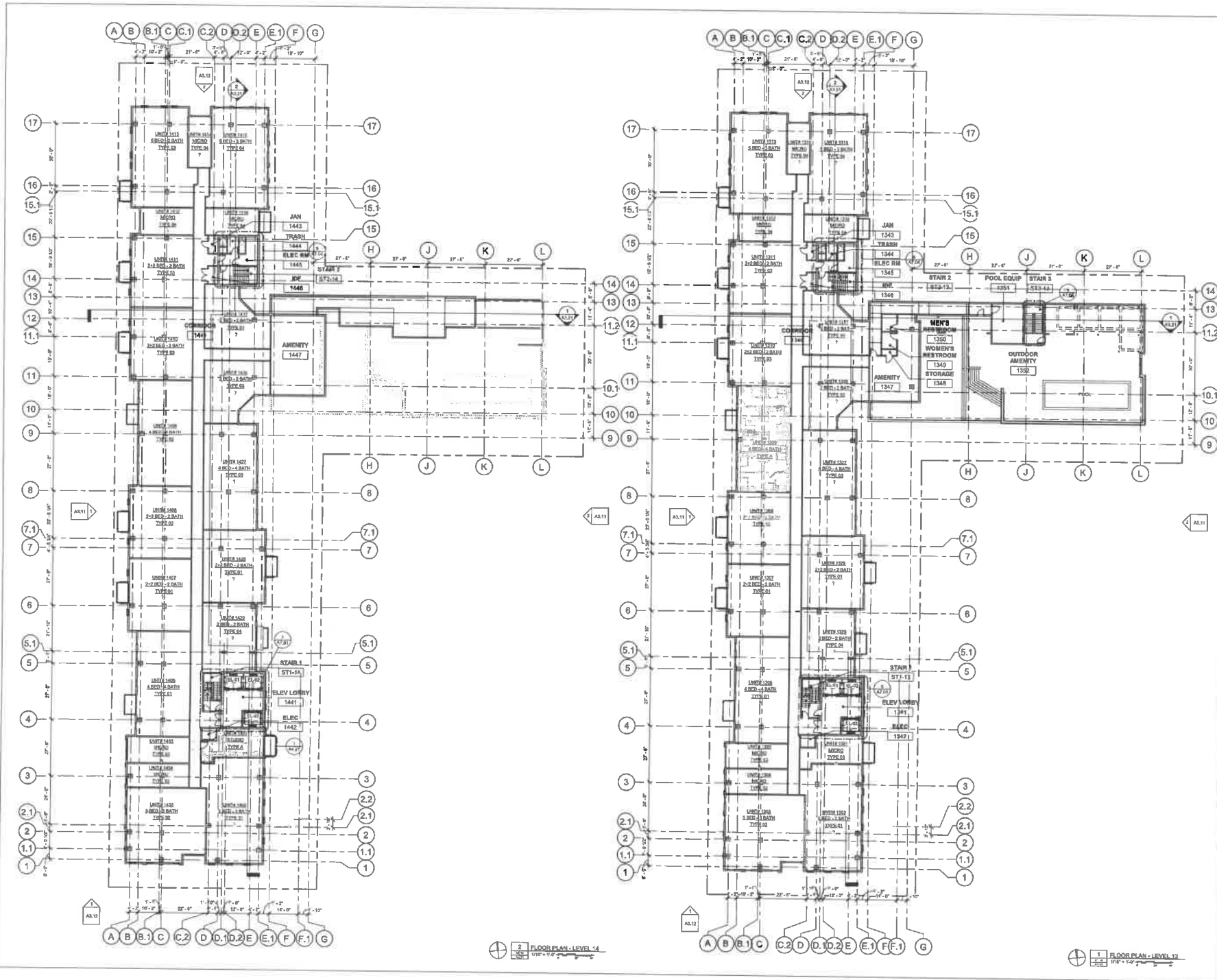


DATE: 08/20/2014	
PROJECT: HUB AT CINCINNATI	
DRAWING TITLE: FLOOR PLANS - LEVEL 2 AND LEVEL 3	
DESIGNER: J.J. FINDORFF & SON INC.	DATE: 08/20/2014
PROJECT NO: 08A-257-021	PROJECT NAME: HUB AT CINCINNATI
OWNER: PARKING STRUCTURE	
OWNER: PARKING STRUCTURE	
OWNER: HOLDINGS & LLC 104 NORTH BANGOR STREET CHICAGO, IL 60607 PH: 312.953.3394	
ARCHITECT: ANTUNOVICH ASSOCIATES 204 WEST HURON STREET, SUITE 700 CHICAGO, ILLINOIS 60604 PH: 312.296.1129 FAX: 312.296.7123 ANTUNOVICH@AASOCI.COM	
STRUCTURAL ENGINEER: DCI ENGINEERS 215 SOUTH CONGRESS AVE, SUITE 600 AUSTIN, TX 78704 512.815.8910	
MECHANICAL ENGINEERS: BAYER BECKER 1604 RACE STREET, SUITE 204 CINCINNATI, OH 45202 616.554.4151	
ARCHITECT: AMERICAN ARCHITECT 8000 W. 120TH STREET MOUNDVILLE, WV 26041 304.433.9980	
GENERAL CONTRACTOR: J.J. FINDORFF & SON INC. 204 WEST HURON STREET CHICAGO, IL 60604 312.296.1129	
PROJECT LOCATION: HUB AT CINCINNATI	
DRAWING TITLE: FLOOR PLANS - LEVEL 2 AND LEVEL 3	
SCALE:	DATE: 08/20/2014
DESIGNED BY: J.J. FINDORFF & SON INC.	CHECKED BY: J.J. FINDORFF & SON INC.
PROJECT NO: 08A-257-021	PROJECT NAME: HUB AT CINCINNATI
<b>A2.02</b>	



PREPARED BY: PROJECT MANAGER CHECKED BY: ARCHITECT DRAWN BY: ARCHITECT	
DATE: 11/21/2014 PROJECT: HUB AT CINCINNATI SHEET: A2.03	
REVISIONS:	
NO.	DESCRIPTION
1	ISSUE FOR PERMITS
2	ISSUE FOR PERMITS
3	ISSUE FOR PERMITS
4	ISSUE FOR PERMITS
5	ISSUE FOR PERMITS
6	ISSUE FOR PERMITS
7	ISSUE FOR PERMITS
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27	ISSUE FOR PERMITS
28	ISSUE FOR PERMITS
29	ISSUE FOR PERMITS
30	ISSUE FOR PERMITS

**A2.03**



2 FLOOR PLAN - LEVEL 14  
 1/4" = 1'-0" (1/8" = 1'-0")

1 FLOOR PLAN - LEVEL 13  
 1/4" = 1'-0" (1/8" = 1'-0")

PROJECT NAME: HUB AT CINCINNATI

NO. 1017 USE FOR FINAL DEVELOPMENT PLAN REVIEW  
 NO. 1018 USE FOR FINAL TECHNICAL DESIGN REVIEW  
 NO. 1019 SUBMISSIONS & REVISIONS  
 NO. 1020 STUDENT RESIDENCES

CORE SPACES  
 1843 N. WILMURGE AVE.  
 CINCINNATI, OH 45247  
 773.966.8740

OWNER - PARKING STRUCTURE  
 OHIO HOLDINGS II LLC  
 1843 N. WILMURGE STREET  
 SUITE 200  
 CINCINNATI, OH 45247  
 773.966.8740

ARCHITECT  
**ANTUNOVICH ASSOCIATES**  
 224 WEST HURON STREET, SUITE 700  
 CINCINNATI, OHIO 45204  
 773.336.1233  
 ANTUNOVICH.COM  
 STRUCTURAL ENGINEER

DCI ENGINEERS  
 715 SOUTH CONVERSE AVE. SUITE 100  
 CINCINNATI, OH 45219  
 513.975.4100

M.E.P. & P. ENGINEER  
 BAYEN BECKER  
 160 BANC STREET, SUITE 204  
 CINCINNATI, OH 45202  
 513.334.4151

CIVIL ENGINEER  
 BAYEN BECKER  
 160 BANC STREET, SUITE 204  
 CINCINNATI, OH 45202  
 513.334.4151

LANDSCAPE ARCHITECT  
 BREK  
 200 SOUTH MIDDIAN STREET  
 MIDDIAN, OH 45225  
 513.423.8000

GENERAL CONTRACTOR  
 J.H. FINDORFF & SON INC.  
 14400 WOOD STREET  
 WOODBURN, OH 45276  
 513.257.6221

UTILITY SPECIALIST  
 HUB AT CINCINNATI

MARKING TITLE  
 FLOOR PLANS - LEVEL 13 AND LEVEL 14

DATE: 11/14/2018

DRAWN BY: [Name]

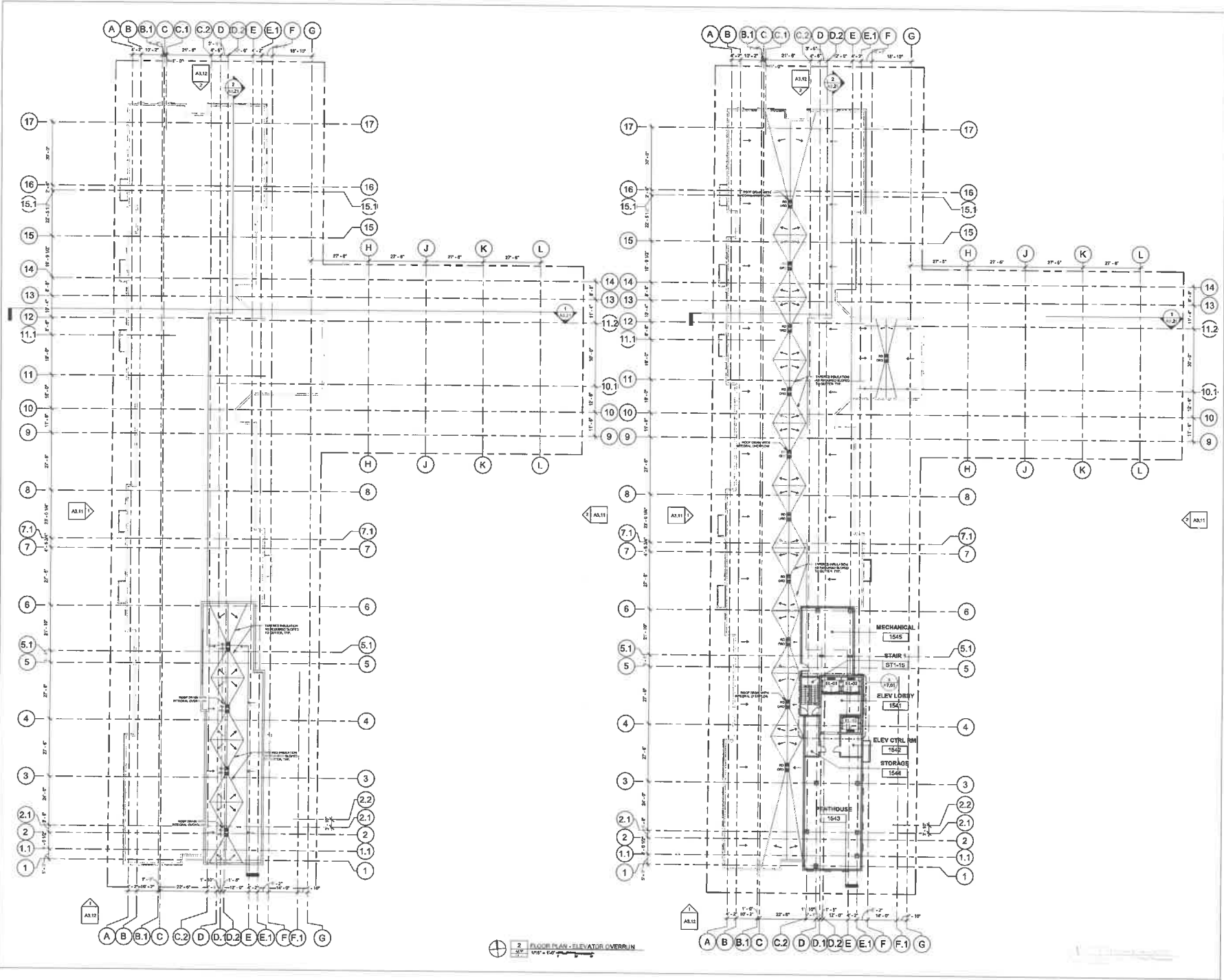
CHECKED BY: [Name]

PROJECT NO.: [Number]

SCALE: [Scale]

DATE: 11/14/2018

**A2.04**



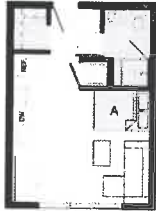
2 FLOOR PLAN - ELEVATOR OVRERRUN

PREPARED BY: [ ] CHECKED BY: [ ] PROJECT NO: [ ]	
HUB AT CINCINNATI	
FLOOR PLANS - ROOF AND ELEVATOR OVRERRUN	
<b>A2.05</b>	
CONTRACTOR: J.H. FINDORFF & SON INC. 201 S. WOODROW STREET WASHINGTON, MO 63093 636.257.3211	
ARCHITECT: ANTONOVICH ASSOCIATES 254 WEST HURON STREET, SUITE 702 CHICAGO, ILLINOIS 60607 312.264.1238 FAX: 312.264.1233 ANTONOVICH.COM	
MECHANICAL ENGINEER: DCI ENGINEERS 515 SOUTH CONGRESS AVE, SUITE 200 ANTONOVICH.COM 312.618.6010	
CIVIL ENGINEER: BAVER & BECKER 1604 RACE STREET, SUITE 204 CINCINNATI, OH 45202 513.634.6155	
STRUCTURAL ENGINEER: DCI ENGINEERS 515 SOUTH CONGRESS AVE, SUITE 200 ANTONOVICH.COM 312.618.6010	
ARCHITECT: ANTONOVICH ASSOCIATES 254 WEST HURON STREET, SUITE 702 CHICAGO, ILLINOIS 60607 312.264.1238 FAX: 312.264.1233 ANTONOVICH.COM	
DEVELOPER: CHAD HOLDINGS B LLC 150 NORTH RANDOLPH STREET SUITE 200 CHICAGO, IL 60607 312.962.5100	
SUBMITTER: R - STUDENT RESIDENCES CHAD HOLDINGS B LLC 150 NORTH RANDOLPH STREET SUITE 200 CHICAGO, IL 60607 312.962.5100	
REVIEWER: [ ] REVIEW DATE: [ ] REVIEW TYPE: [ ] REVIEW COMMENTS: [ ]	





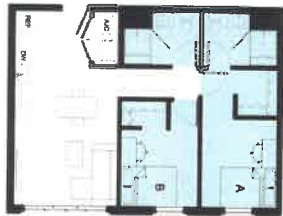
Micro Plan



Studio Plan



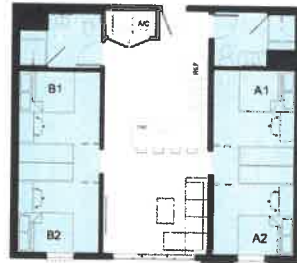
1 Bed / 1 Bath Plan



2 Bed / 2 Bath Plan



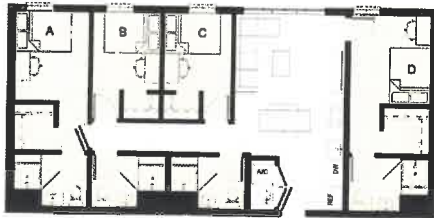
2 Bed / 2 Bath Plan



2+2 Bed / 2 Bath Plan



3 Bed / 3 Bath Plan



4 Bed / 4 Bath Plan



5 Bed / 5 Bath Plan

25/06/2018 11:13:10 PM

APPROPRIATE STAMPE

DATE: 08/25/18  
BY: [Signature]  
FOR: [Signature]  
DESIGN: [Signature]

REVISIONS & REVISIONS

NO. DATE DESCRIPTION

1 08/25/18 CORE SPACES

1545 N. MILWAUKEE AVE  
CHICAGO, IL 60617  
773.963.3740

OWNER: PARKING STRUCTURE

OHADIC HOLDINGS II LLC  
108 NORTH BANGOR STREET  
SUITE 200  
CHICAGO, IL 60607  
847.761.2704

ARCHITECT

**ANTUNOVICH ASSOCIATES**  
204 WEST MADISON STREET, SUITE 700  
CHICAGO, IL 60604  
847.462.3121  
WWW.ANTUNOVICH.COM

MECHANICAL ENGINEER

**DCI ENGINEERS**  
815 NORTH CHICAGO AVE. SUITE 600  
AUSTIN, TX 78704  
512.515.8616

ELECTRICAL ENGINEER

**H.E.P. & P. ENGINEERS**

CIVIL ENGINEER

**BAVER BECKER**  
1605 RACE STREET, SUITE 204  
CINCINNATI, OH 45202  
513.641.4111

LANDSCAPE ARCHITECT

**BRCK**  
200 SOUTH MERRIAM STREET  
BETHANAPOLIS, IN 46022  
317.451.9900

GENERAL CONTRACTOR

**J.H. FINEBERG & SON INC.**  
100 S. BISHOP'S STREET  
MADISON, WI 53704  
608.257.6421

PROJECT LOCATION

**HUB AT CINCINNATI**

PREPARED BY

**ENLARGED TYPICAL UNIT PLANS**

DATE

SCALE

DESIGNED BY

CHECKED BY

PROJECT NO.

DRAWING NO.

**A2.06**

COMPONENT 2/1



AERIAL VIEW FROM THE WEST FACING EAST



VIEW OF PRIMARY BUILDING ENTRANCE FROM STRAIGHT STREET AND STRATFORD AVENUE



VIEW FROM SOUTH-EAST FACING NORTH-WEST



VIEW FROM NORTH-WEST FACING SOUTH-EAST



VIEW FROM SOUTH-WEST FACING NORTH-EAST

02/02/2023 1:15:39 PM

REVISIONS:

NO. 1	DATE	DESCRIPTION

FOR REVIEW  
 DEVELOPMENT PLAN REVIEW  
 ISSUE FOR COMM. TECHNICAL  
 REVIEW ONLY

DATE: 02/02/23  
 DRAWN BY: [REDACTED]  
 SUBMISSIONS & REVISIONS

OWNER - STUDENT REFERENCE

CORE SPACES  
 160 N MILWAUKEE AVE  
 CHICAGO, IL 60607  
 PH: 773.966.8760

OWNER - PARKING STRUCTURE  
 CHAIJC HOLDINGS II LLC  
 100 NORTH MICHIGAN STREET  
 SUITE 200  
 CHICAGO, IL 60607  
 PH: 773.310.2704

ARCHITECT  
**ANTUNOVICH ASSOCIATES**  
 224 WEST WILSON STREET, SUITE 715  
 CHICAGO, ILLINOIS 60604  
 PH: 312.256.1100  
 FAX: 312.256.7123  
 WWW.ANTUNOVICH.COM  
 STRUCTURAL ENGINEER

DCI ENGINEERS  
 118 SOUTH CONSUMER AVE, SUITE 600  
 AUSTIN, TX 78704  
 TEL: 512.812.8616

M.E.P. & P.E. ENGINEERS

civil engineer

CIVIL ENGINEER  
**BAVIER BECKER**  
 180 SOUTH FIRST STREET, SUITE 204  
 CHICAGO, IL 60602  
 TEL: 312.447.4115

LANDSCAPE ARCHITECT  
**MRISK**  
 200 SOUTH MICHIGAN STREET  
 SUITE 310, RY 40202  
 312.424.9600

GENERAL CONTRACTOR  
**J.H. FRODRUFF & SON INC.**  
 391 S. MICHIGAN STREET  
 WOODRIDGE, IL 60402  
 TEL: 815.381.2322

PROJECT LOCATION  
**HUB AT CINCINNATI**

DRAWING TITLE  
**EXTERIOR RENDERINGS**

DATE: 02/02/23  
 DRAWN BY: [REDACTED]  
 CHECKED BY: [REDACTED]  
 PROJECT NO.: [REDACTED]

DATE: 02/02/23  
**A3.01**



AERIAL VIEW OF LEVEL 13 POOL TERRACE LOOKING EAST



AERIAL VIEW OF LEVEL 13 POOL TERRACE LOOKING NORTH-WEST



AERIAL VIEW FROM SOUTH-EAST LOOKING NORTH-WEST



STREET VIEW FROM STRATFORD AVENUE LOOKING NORTH



VIEW OF PRIMARY BUILDING ENTRANCE FROM STRAIGHT STREET

REVISIONS:

NO.	DATE	DESCRIPTION

BY 03/23 FOR PRELIMINARY DEVELOPMENT PLAN REVIEW  
 BY 04/11 FOR PRELIMINARY DEVELOPMENT PLAN REVIEW  
 FOR PRELIMINARY DEVELOPMENT PLAN REVIEW  
 SUBMISSIONS & REVISIONS

OWNER - STUDENT HOUSAGES  
 CORE SPACES  
 1452 N 90th PLACE AVE  
 CHICAGO, IL 60647  
 773.869.8740

OWNER - PARKING STRUCTURE  
 OH-ABC HOLDINGS II LLC  
 100 WEST CINCINNATI STREET  
 CHICAGO, IL 60607  
 MAIL: 312.415.2734

ARCHITECT  
**ANTUNOVICH ASSOCIATES**  
 524 WEST NICHOLS STREET, SUITE 7E  
 CHICAGO, ILLINOIS 60664  
 PHONE: 312.386.1128  
 FAX: 312.386.1125  
 ANTUNOVICH.COM

STRUCTURAL ENGINEER  
**DCI ENGINEERS**  
 611 SOUTH COLUMBIA AVE, SUITE 200  
 AUSTIN, TX 78704  
 612.616.8889

M.P. & P. ENGINEERS  
 CIVIL ENGINEER

CIVIL ENGINEER  
**BAYER BECKER**  
 100 SOUTH WABASH STREET, SUITE 204  
 CHICAGO, IL 60603  
 312.854.4181

LANDSCAPE ARCHITECT  
**MINCK**  
 705 SOUTH MERIDIAN STREET  
 INDIANAPOLIS, IN 46205  
 317.423.0000

GENERAL CONTRACTOR  
**J.M. PRODRUFF & SON INC.**  
 300 N BELLEVUE STREET  
 BLOOMINGTON, IN 47403  
 317.321.5221

PROJECT LOCATION  
**HUB AT CINCINNATI**

DRAWING TITLE  
**EXTERIOR RENDERINGS**

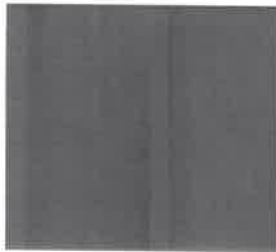
DATE:                      DRAWN BY:  
 03/23/2024                      J.M.P.

CHECKED BY:  
 J.M.P.

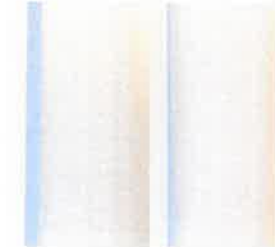
PROJECT NO:  
 24-001

DRAWING NO:  
**A3.02**

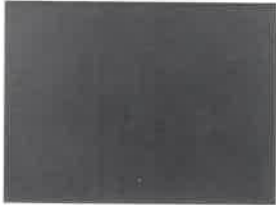
© 2024 J.M. PRODRUFF & SON INC.



**MTL-1** METAL PANEL - FLAT PANEL BUTT GROOVE JOINTING, COLOR - DARK.



**MTL-3** METAL PANEL - FLAT PANEL BUTT GROOVE JOINTING, COLOR - LIGHT.



**MTL-5** METAL PANEL - INSULATED SLAB EDGE COVERS AND VERTICAL PROJECTIONS, COLOR - DARK, BREAK METAL REVEAL, COLOR - DARK.

**MTL-7** METAL PANEL - INSULATED SLAB EDGE COVERS AND VERTICAL PROJECTIONS, COLOR - LIGHT, BREAK METAL REVEAL, COLOR - LIGHT.



**MTL-2** METAL PANEL - CORRUGATED, SQUARE-PROFILE, COLOR - DARK.



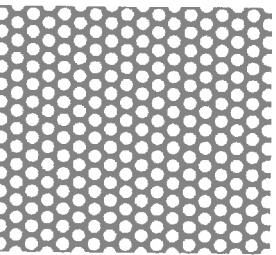
**MTL-4** METAL PANEL - CORRUGATED, SQUARE-PROFILE, COLOR - LIGHT.



**LOW-E** LOW-E GLAZING FOR STOREFRONT AND WINDOW



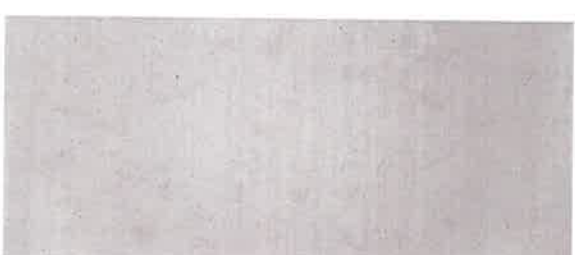
**BR-1** MODULAR BRICK WITH CONTRASTING MORTAR.



**MTL-6** METAL PANEL - PERFORATED, 5/8\"/>



**CON-1** SCORED FACE CONCRETE WITH INTEGRAL COLOR - DARK.



**CON-1** CAST-IN-PLACE CONCRETE WITH ARCHITECTURAL FINISH.

**EXTERIOR FINISH LEGEND**

- CON-1** CAST-IN-PLACE CONCRETE WITH ARCHITECTURAL FINISH.
- CON-2** SCORED FACE CONCRETE WITH INTEGRAL COLOR - DARK.
- BR-1** MODULAR BRICK WITH CONTRASTING MORTAR.
- MTL-1** METAL PANEL - FLAT PANEL BUTT GROOVE JOINTING, COLOR - DARK.
- MTL-2** METAL PANEL - CORRUGATED, SQUARE-PROFILE, COLOR - DARK.
- MTL-3** METAL PANEL - FLAT PANEL BUTT GROOVE JOINTING, COLOR - LIGHT.
- MTL-4** METAL PANEL - CORRUGATED, SQUARE-PROFILE, COLOR - LIGHT.
- MTL-5** METAL PANEL - PERFORATED, 5/8\"/>

**EXTERIOR SCHEDULE LEGEND**

- (1)** STOREFRONT - LOW-E GLAZING IN ALUMINUM FRAME, COLOR TO MATCH DARK COLOR.
- (2)** WINDOW - RESIDENTIAL - LENS GLAZING, COLOR TO MATCH DARK COLOR.
- (3)** WINDOW - LIVING ROOM - LOW-E GLAZING, COLOR TO MATCH DARK COLOR.
- (4)** PUBLIC PARKING GARAGE.
- (5)** STEEL DOOR AND FRAME.
- (6)** OVERHEAD CURTAIN DOOR.
- (7)** METAL BALCONY AND RAILINGS.
- (8)** QUADRANGLE, PAINTED TO MATCH MTL-1.
- (9)** QUADRANGLE, PAINTED TO MATCH MTL-3.
- (10)** LAMINATED GLASS QUADRANGLE.
- (11)** LAMINATED GLASS WINDOWSCREEN.
- (12)** STEEL CANOPY.
- (13)** 4\"/>

**GRAPHICS LEGEND**

- PROPERTY LINE
- LINE OF GRADE

**PROJ. NO. 24-0000**

**DATE: 08/20/24**

**PROJECT NAME: HUB AT CINCINNATI**

**CLIENT: HUB AT CINCINNATI**

**ARCHITECT: HUB AT CINCINNATI**

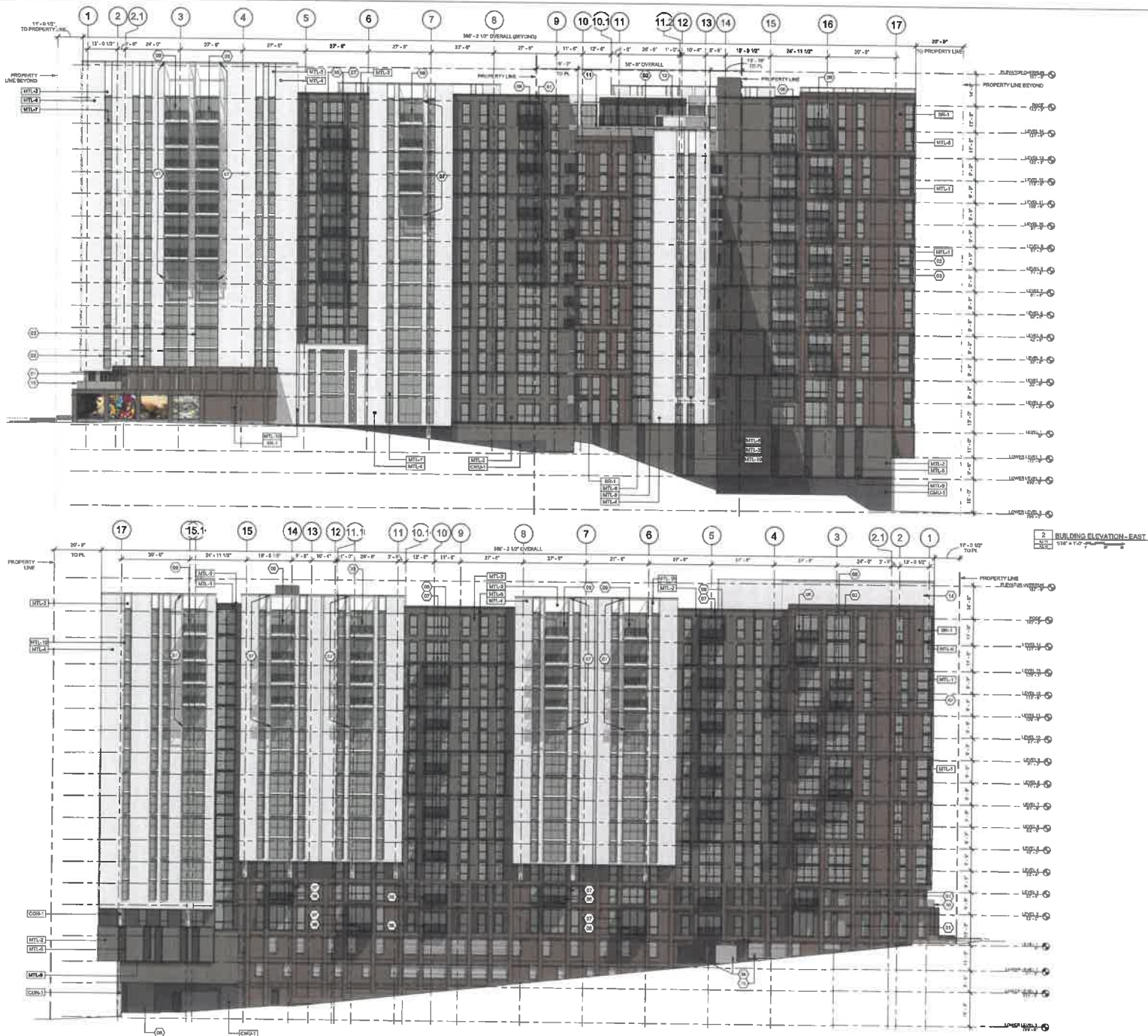
**ENGINEER: ANTONOVICH ASSOCIATES**

**CONTRACTOR: J.H. FINDEROFF & SON INC.**

**DATE: 08/20/24**

**PROJECT NO: A3.03**

**08/20/24**



EXTERIOR FINISH LEGEND	
CON-1	CAST-IN-PLACE CONCRETE WITH ARCHITECTURAL FINISH
CON-2	SCORED FACE CONCRETE, MINERAL COLOR - DARK
BR-1	MODULAR BRICK WITH CONTRASTING MORTAR COLOR - DARK
MFL-1	METAL PANEL - FLAT PANEL, BUTT GROOVE JOINTING, COLOR - DARK
MFL-2	METAL PANEL - CORRUGATED, SQUARE-PROFILE, COLOR - DARK
MFL-3	METAL PANEL - FLAT PANEL, BUTT GROOVE JOINTING, COLOR - LIGHT
MFL-4	METAL PANEL - CORRUGATED, SQUARE-PROFILE, COLOR - LIGHT
MFL-5	METAL PANEL - PERFORATED, SQUARE-PROFILE WITH BREAK METAL REVEALS, COLOR - DARK
MFL-6	METAL PANEL - INSULATED SUB EDGE COVERS, COLOR - LIGHT
MFL-7	METAL PANEL - INSULATED SUB EDGE COVERS, COLOR - DARK
MFL-8	BREAK METAL REVEAL, COLOR - DARK
MFL-9	BREAK METAL REVEAL, COLOR - LIGHT

EXTERIOR SHEET NOTE LEGEND	
(M)	STOREFRONT - LOW GLAZING IN ALUMINUM FRAME, COLOR TO MATCH DARK COLOR
(W)	WINDOW - BEDROOM - LOW GLAZING, COLOR TO MATCH DARK COLOR
(LW)	WINDOW - LIVING ROOM - LOW GLAZING, COLOR TO MATCH DARK COLOR
(G)	PUBLIC PARKING GARAGE
(D)	STEEL DOOR AND FRAME
(O)	OVERHEAD COILING DOOR
(M)	METAL SHROUD AND/or BALUSTERS
(G)	GUARDRAIL, PAINTED TO MATCH MFL-1
(G)	GUARDRAIL, PAINTED TO MATCH MFL-3
(L)	LAMINATED GLASS GUARDRAIL
(L)	LAMINATED GLASS WINDSCREEN
(C)	STEEL CANOPY
(P)	4'-0" PRIVACY BALCONY FENCE
(M)	MECHANICAL PENTHOUSE
(M)	METAL VEHICLE RESTRAINT, DARK METAL COLOR

GRAPHICS LEGEND	
---	PROPERTY LINE
---	LINE OF GRADE

DATE: 08/14/2024

12 BY 17 SHEET FOR FINAL DEVELOPMENT PLAN REVIEW  
 12 BY 17 SHEET FOR PERMITS REVIEW  
 12 BY 17 SHEET FOR PERMITS REVIEW

DESIGNED BY: [Name]  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SUBMITTIONS & REVISIONS

OWNER - PARKING STRUCTURE  
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GENERAL CONTRACTOR  
 J.H. FINDORFF & SON INC.  
 3715 WESTWOOD STREET  
 GAITHERSBURG, MD 20878  
 301.281.1331

PROJECT LOCATION  
**HUB AT CINCINNATI**

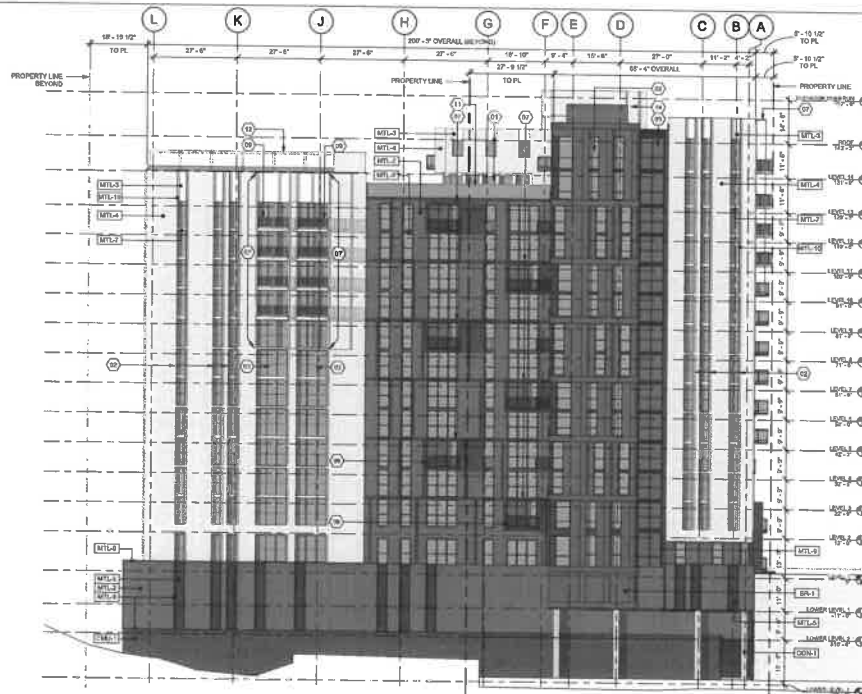
PROJECT TITLE  
**EXTERIOR ELEVATIONS - OVERALL**

DATE: 08/14/2024  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT NO: [Number]

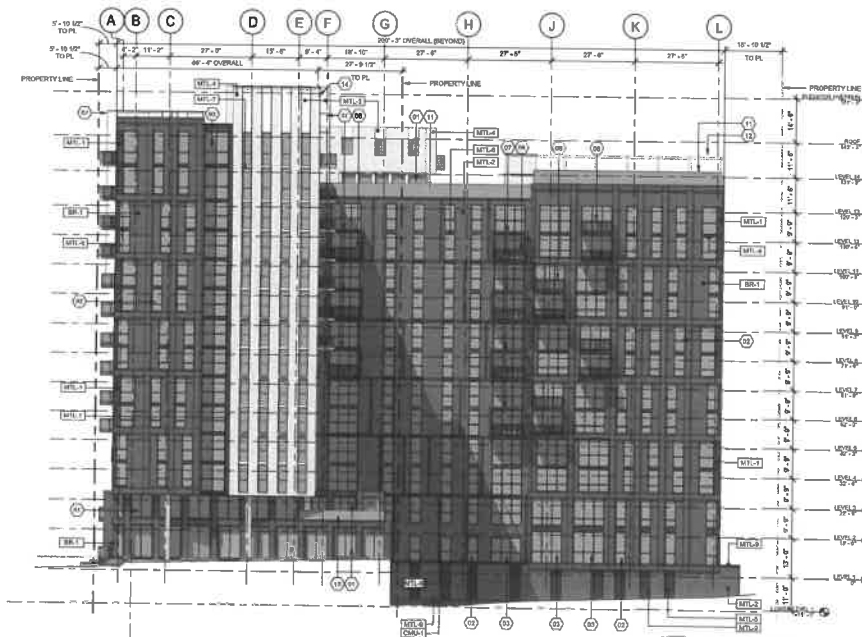
PROJECT NO: **A3.11**

8/20/24 11:48 AM

1 BUILDING ELEVATION - WEST  
 2 BUILDING ELEVATION - EAST  
 ARCHITECTURAL ELEVATION 1/4" = 1'-0" ELEVATION 1/8" = 1'-0"



2 BUILDING ELEVATION - NORTH



1 BUILDING ELEVATION - SOUTH

EXTERIOR FINISH LEGEND	
EXTER-1	CAST-IN-PLACE CONCRETE WITH ARCHITECTURAL FINISH, COLOR - DARK.
EXTER-2	SCORED FACE CAST, METALIC COLOR - DARK.
EXTER-3	MORLAIN BRICK WITH CONTRASTING MORTAR.
EXTER-4	METAL PANEL - FLAT PANEL, BUTT JOINTS, JOINTING, COLOR - DARK.
EXTER-5	METAL PANEL - CORRUGATED, SQUARE-PROFILE, COLOR - DARK.
EXTER-6	METAL PANEL - FLAT PANEL, BUTT JOINTS, JOINTING, COLOR - LIGHT.
EXTER-7	METAL PANEL - CORRUGATED, SQUARE-PROFILE, COLOR - LIGHT.
EXTER-8	METAL PANEL - PERFORATED, FINISHES WITH BRICK METAL REVEALS, COLOR - DARK.
EXTER-9	METAL PANEL - INSULATED BEAR EDGE COVERS AND VERTICAL PROJECTIONS, COLOR - DARK.
EXTER-10	METAL PANEL - INSULATED BEAR EDGE COVERS, COLOR - LIGHT.
EXTER-11	BREAK METAL REVEAL, COLOR - DARK.
EXTER-12	BREAK METAL REVEAL, COLOR - LIGHT.

EXTERIOR INSERT NOTE LEGEND	
(N1)	STOREFRONT - LOWE GLAZING BY ALUMINUM FRAME, COLOR TO MATCH DARK COLOR.
(N2)	WINDOW - BEDROOM - LOWE GLAZING, COLOR TO MATCH DARK COLOR.
(N3)	WINDOW - LIVING ROOM - LOWE GLAZING, COLOR TO MATCH DARK COLOR.
(N4)	PARKING GARAGE
(N5)	STEEL DOOR AND FRAME
(N6)	OVERHEAD COLLING DOOR
(N7)	METAL SHROUD AROUND BALCONIES
(N8)	GUARDRAIL, PAINTED TO MATCH MET-4
(N9)	GUARDRAIL, PAINTED TO MATCH MET-3
(N10)	LAMINATED GLASS GUARDRAIL
(N11)	LAMINATED GLASS WINDOWSCREEN
(N12)	STEEL CANOPY
(N13)	RAMP PRIVITY BALCONY FENCE
(N14)	MECHANICAL PENTHOUSE
(N15)	METAL VEHICLE RESTRAINT, DARK METAL COLOR.

GRAPHICS LEGEND	
	PROPERTY LINE
	LINE OF GRADE

REVISIONS	
NO. 01	ISSUE FOR PERMITS
NO. 02	FOR DEVELOPMENT PLAN REVIEW
NO. 03	FOR HEALTH DEPARTMENT REVIEW
NO. 04	FOR SUBMISSIONS & REVISIONS
NO. 05	FOR R - STUDENT RESIDENCES

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ANTUNOVICH.CO	

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GENERAL CONTRACTOR	
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384 S. BROADWAY STREET	
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PROJECT LOCATION	
HUB AT CINCINNATI	

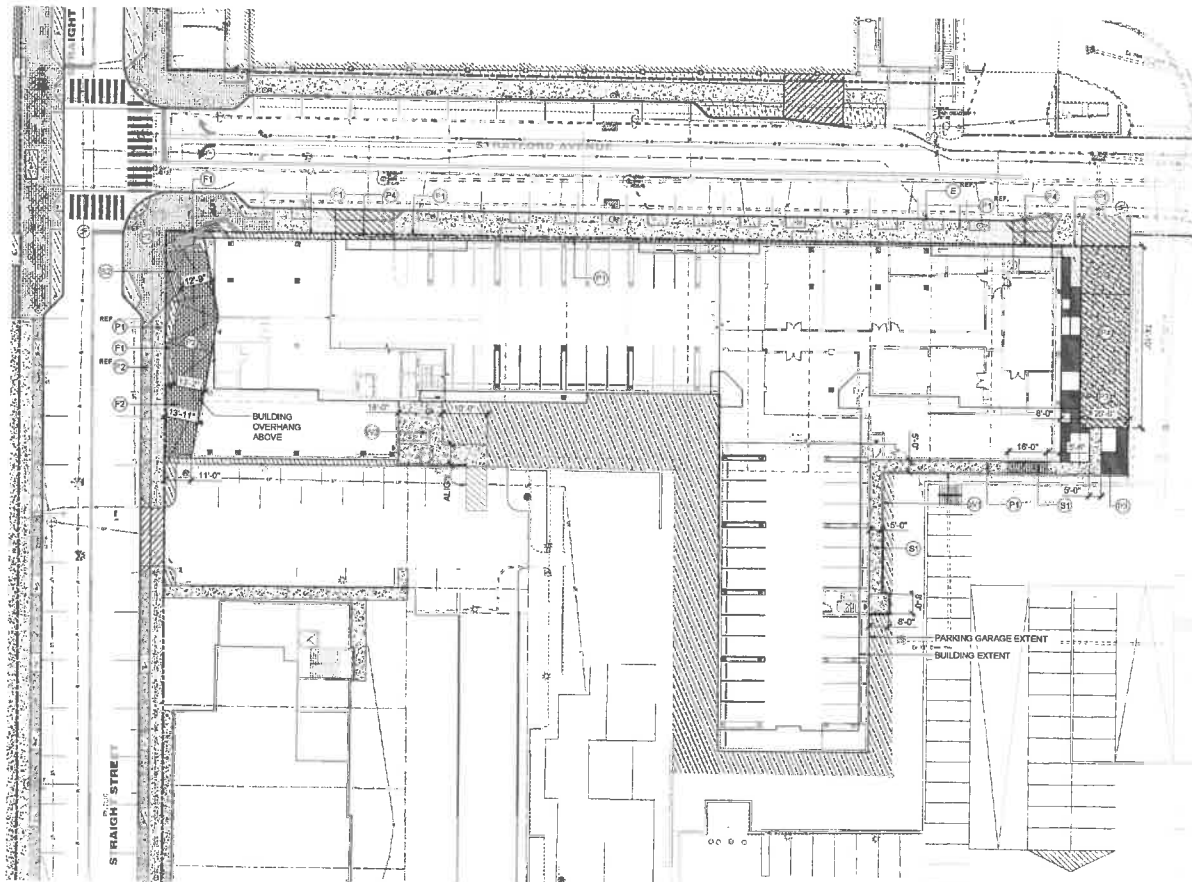
  

DRAWING TITLE	
EXTERIOR ELEVATIONS - OVERALL	

DRAWING NO.	
A3.12	





**MATERIALS LEGEND**

**PAVEMENTS**

- (P1) CP CONCRETE PAVEMENT TYP. 5" CP CONC. ON 4" AGG BASE, BROOM FINISH
- (P2) UNIT PAVERS TYP. (TUMBLIOUS SET UNIT PAVERS ON 5" CP CONC. WITH 4" AGG BASE
- (P3) CRUSHED AGGREGATE PAVEMENT TYP. 3" CRUSHED AGG ON 4" COMPACTED AGG BASE
- (P4) HEAVY DUTY CP CONCRETE PAVEMENT TYP. 7" CP CONC. ON 4" AGG BASE, BROOM FINISH

**WALLS AND CURBS**

- (M1) C.I.P. RETAINING WALL
- (M2) DAMPSTER CART ENCLOSURE

**STAIRS**

- (S1) C.I.P. CONCRETE STAIRS
- (S2) PRECAST CONCRETE STAIRS ON CP BASE

**SITE FURNISHINGS**

- (F1) CUSTOM WOOD VENEERED BENCHES WITH PRECAST WALL STRUCTURE

**PLANTING**

- (P1) HATCH INDICATES PLANTING AREAS. REFER TO PLANTING PLAN FOR MATERIALS

**LAYOUT NOTES**

1. REFER TO GENERAL NOTES AND PROJECT SPECIFICATIONS FOR ADDITIONAL INSTRUCTIONS.
2. FIELD STATIONS AND LAYOUT TO BE PERFORMED BY A REGISTERED SURVEYOR. LAYOUT ALL CONSTRUCTION LINES AND VERIFY LAYOUT WITH THE OWNERS REPRESENTATIVE PRIOR TO BEGINNING ANY CONSTRUCTION WORK.
3. IN THE EVENT THAT SPECIFICATIONS ARE BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND ACTUAL FIELD CONDITIONS THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY FOR RESOLUTION.
4. UNLESS NOTED OTHERWISE, DIMENSIONS SHOWN ARE IN FEET AND INCHES AND TO THE EDGE OF PAVEMENT, FACE OF WALL, OR FACE OF CURB.
5. RACE OF EXISTING CURBS ARE ESTIMATED FROM SURVEY OR BASE DATA. MAKE ALL MODIFICATIONS NECESSARY TO ASSURE NEW CURBS MEET, FLUSH, EVEN AND ON "ANGLER" TO EXISTING CURB.
6. WALKWAYS AND LANDSCAPE ELEMENTS INDICATED AS CURVILINEAR SHALL HAVE EXACT CONTRA RADIUS AND ADJUST AT 90 DEGREE ANGLES UNLESS OTHERWISE INDICATED.
7. CONCRETE SCORING SHALL BE PARALLEL, PERPENDICULAR OR TANGENT TO ADJACENT BOUNDARIES UNLESS OTHERWISE NOTED.
8. PROVIDE ISOLATION JOINTS WHERE CONCRETE PAVING OR PAVING BASE MEET A FRESH STRUCTURE (EXISTING OR PROPOSED).
9. PROVIDE FLSH CONDITIONS AT JUNCTURE OF ALL WALKWAYS AND DOOR THRESHOLDS.
10. DO NOT SCALE DRAWINGS. UTILIZE DIMENSIONS INDICATED ON THE PLANS.

**NOTES:**

STREET PAVEMENTS, FURNISHINGS, AND PLANTINGS TO BE REVIEWED AND COORDINATED WITH NOTES SHOWN FOR REFERENCE ONLY.  
 OPEN SPACE QUANTITIES PLANTED AREAS: 75'S OF PLAZA AREA: 1546 SF



APPROVE STAMPS

02.20.21 ISSUE FOR FINAL DEVELOPMENT PLAN REVIEW  
 01.24.21 ISSUE FOR GEP - TECHNICAL DESIGN REVIEW

DESIGNED BY: SUBMISSIONS & REVISIONS  
 DRAWN BY: SUBMISSIONS & REVISIONS

OWNER: STREET RESIDENCES

OWNER - PARKING STRUCTURE  
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 MAH: 312.415.3764

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DISCIPLINE ARCHITECT  
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 300 S. BIRMINGHAM STREET  
 MADISON, WISCONSIN 53703  
 608.267.8321

PROJECT LOCATION  
 HUB AT CINCINNATI

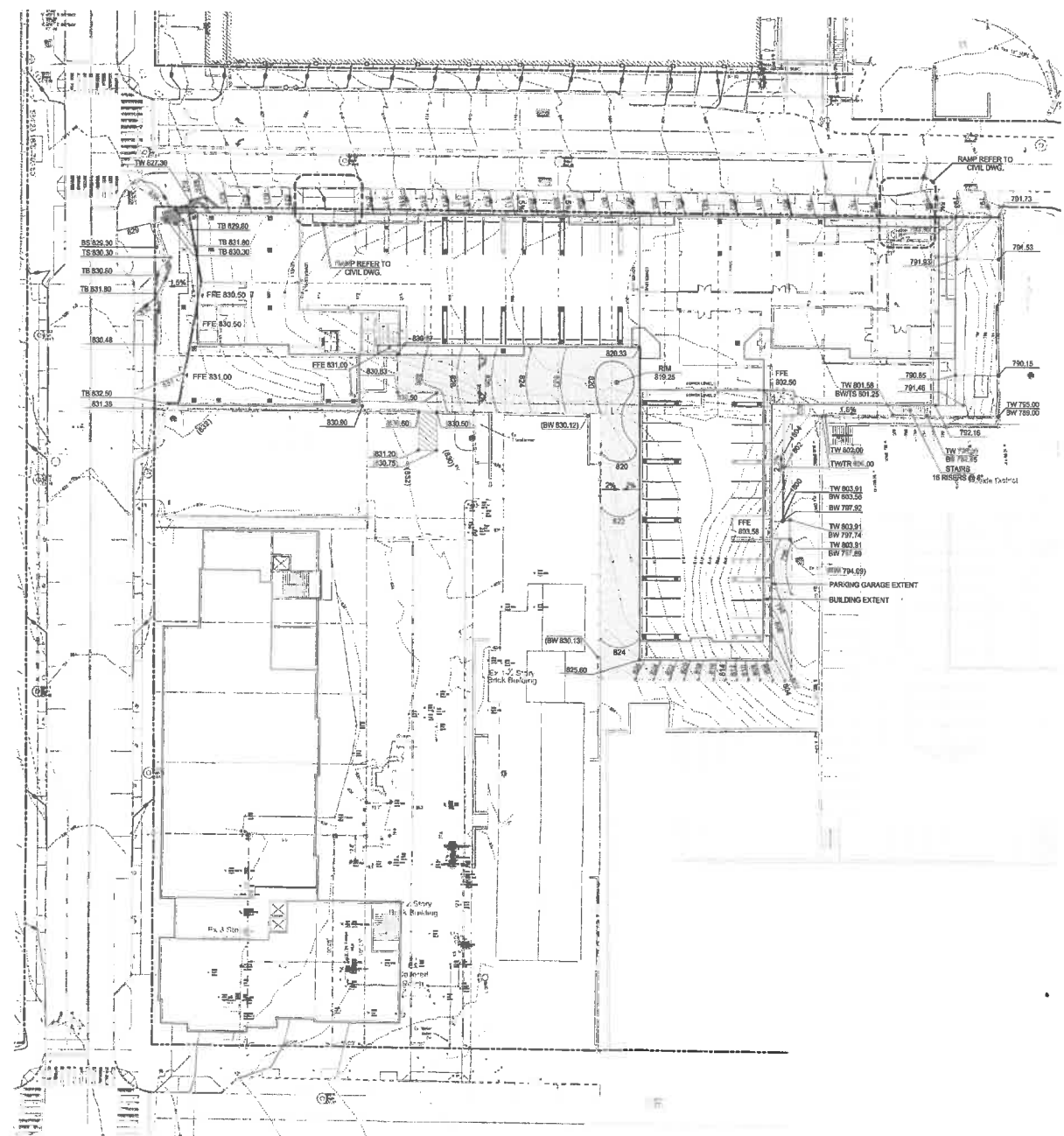
DRAWING TITLE  
 MATERIALS AND LAYOUT PLAN

DATE: DRAWN BY:  
 CHECKED BY:  
 PROJECT NO.:

DRAWING NO. **L1.00**  
 (CIP/19/12/21)

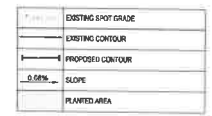
Exhibit F





**GRADING LEGEND**

TC/BC	TOP/BOTTOM OF CURB
TWTR-BW	TOP OF WALL/RAIL - BOTTOM OF WALL
TB	TOP OF BENCH
TS	TOP OF SLAB
ME	MEET EXISTING
CB	CATCH BASIN
LS	LEVEL SPREADER
FG	FINISH GRADE
HP/LP	HIGH POINT / LOW POINT
*42.70	PROPOSED SPOT GRADE



**GRADING NOTES**

1. SPOT GRADES SHOWN ARE BASED ON EXISTING CONDITIONS AND ARE TO BE REGULATED TO THESE EXISTING ELEVATIONS.
2. MAXIMUM SLOPES IN LANDSCAPE AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE INDICATED.
3. ALL SURFACES SHALL BE CONSTRUCTED TO POSITIVELY DRAIN AWAY FROM ALL VERTICAL ELEMENTS SUCH AS BUILDINGS, WALLS, COLUMNS, ETC. TOWARD AND INTO DRAINAGE STRUCTURES SHOWN.
4. MAXIMUM RUNNING SLOPES AT WALKWAYS SHALL NOT EXCEED 4.0%.
5. MAXIMUM CROSS SLOPES AT WALKWAYS SHALL NOT EXCEED 1.5%.
6. GRADES SHOWN INDICATE FINISH GRADE. VERIFY DEPTH OF PAVEMENT SECTIONS PRIOR TO ROUGH GRADING.
7. PROPOSED GRADES AND CONTOURS ARE INTERPOLATED FROM THE BEST INFORMATION AVAILABLE. ALL PROPOSED GRADES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
8. MATCH GRADES WITH ADJACENT SURFACES SO THAT ALL ADJUTING SURFACES ARE FLUSH.
9. PROVIDE POSITIVE DRAINAGE FROM ALL PAVEMENT SURFACES TO CURBS OR INLETS.
10. MAINTAIN COMPACTION RATES SPECIFIED FOR PAVEMENT SUB-GRADE AT FILL ADJACENT TO CURBS AND WALKS TO MINIMIZE SETTLEMENT.
11. FINISH GRADES SHALL BE 3" BELOW ELEVATIONS SHOWN FOR ALL PLANTING AREAS UNLESS OTHERWISE NOTED.
12. REFER GENERAL NOTES FOR ADDITIONAL INSTRUCTION.



DATE: 02.01.21  
 01.24.21 ISSUE FOR CONSTRUCTION  
 02.01.21 ISSUE FOR FINAL DEVELOPMENT PLAN REVIEW

PROJECT: SUBMISSIONS & REVISIONS  
 OWNER: STUDENT RESIDENCES  
 CORE SPACES  
 1600 N. BROADWAY AVE  
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OWNER - PARKING STRUCTURE  
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LANDSCAPE ARCHITECT  
**MRKSK**  
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 312.425.0880

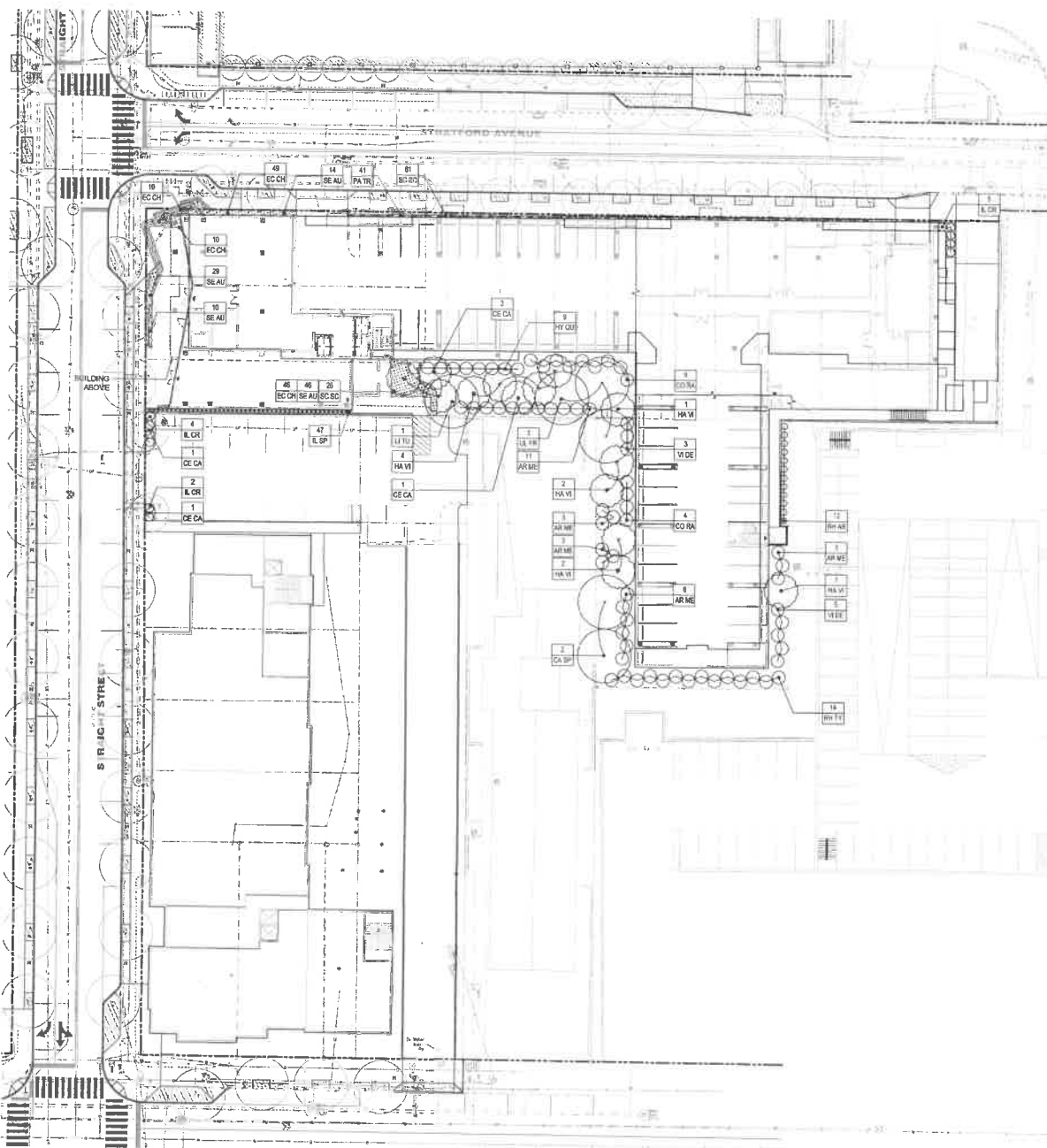
GENERAL CONTRACTOR  
**J.H. FINDORFF & SON INC.**  
 301 S. BROADWAY STREET  
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 608.261.5281

PROJECT LOCATION  
 HUB AT CINCINNATI

DRAWING TITLE  
 GRADING PLAN

DATE: 02.01.21  
 DRAWN BY: JH  
 CHECKED BY: JH  
 PROJECT NO: 2020-001

DRAWING NO: **L2.00**



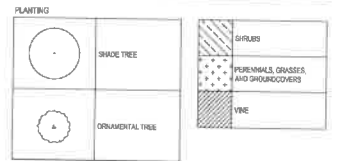
**PLANTING NOTES**

1. STAKE ALL BED LINES AND TREE LOCATIONS FOR THE LANDSCAPE ARCHITECT'S REVIEW PRIOR TO INSTALLATION. ALL PLANTING PROCEDURES ARE SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT AND THE CONTRACTOR SHALL CORRECT ANY DEFICIENCIES FOUND AT NO ADDITIONAL COST TO THE OWNER.
2. SECURE PLANT MATERIAL AS SPECIFIED ON PLANS. IN THE EVENT THAT PLANT MATERIALS SPECIFIED ARE NOT AVAILABLE, CONTACT LANDSCAPE ARCHITECT FOR APPROVED SUBSTITUTIONS. NO SUBSTITUTIONS FOR PLANT MATERIALS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.
3. VERIFY THAT ALL PLANTING PRODUCTS, PLANT MATERIAL, AND PLANT QUANTITIES DELIVERED TO THE SITE MATCH WHAT IS INDICATED ON THE PLANS AND SPECIFICATIONS.
4. PROTECT ALL PLANT MATERIAL DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS, TRUNKS, BRANCHES AND THE DECIDUATION OF LEAVES. PROTECT ALL PLANT MATERIAL DURING SHIPPING WITH SHADE CLOTH OR SHIP WITH ENCLOSED TRANSPORT. MAINTAIN PROTECTIONS AND HEALTH OF PLANT MATERIAL STORED ON SITE. HANDLE ALL TREES WITH NYLON STRAPS. NO CHAINS OR CABLES WILL BE ALLOWED. REMOVE UNACCEPTABLE PLANT MATERIAL IMMEDIATELY FROM THE SITE.
5. ALL PLANT MATERIAL SHALL BE NURSERY GROWN, WELL FORMED, TRUE TO SPECIES, HARDENED OFF WITH WIGOROUS ROOT SYSTEMS, FULL CROWN AND GANOPES, AND FREE FROM DISEASE, PESTS AND INSECTS, AND DEFECTS SUCH AS KNOTS, BUN SCALD, WINDGURN, LEAF DIS-COLORATION, IRREGULAR BRANCHING OR INJURIES.
6. ALL ROOT BALLS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY STOCK".
7. ALL PLANT MATERIAL DELIVERED TO THE SITE IS SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT BEFORE DURING AND AFTER INSTALLATION.
8. PROVIDE PLANT SAMPLES OR PHOTOGRAPHS OF EACH PLANT SPECIFIED TO THE LANDSCAPE ARCHITECT FOR COMPLIANCE REVIEW PRIOR TO INSTALLATION.
9. TEST FILL ALL TREE AND PLANTING PITS WITH WATER, PRIOR TO PLANTING, TO ASSURE PROPER SOIL PERCOLATION. PITS WHICH DO NOT ADEQUATELY DRAIN SHALL BE FURTHER ENLARGED TO A DEPTH SUFFICIENT FOR DRAINAGE TO OCCUR. NO ALLOWANCES SHALL BE MADE FOR PLANT MATERIAL LOSS DUE TO IMPROPER DRAINAGE. CONTRACTOR SHALL REPLACE LOST PLANT MATERIAL WITH SAME SIZE AND SPECIES AT NO ADDITIONAL COST TO OWNER.
10. ALL PLANT MATERIALS, INCLUDING RELOCATED PLANT MATERIAL, SHALL BE PLANTED IN A PROFESSIONAL MANNER TYPICAL TO THE INDUSTRY STANDARDS OF THE AREA TO ASSURE COMPLETE SURVIVABILITY OF ALL INSTALLED PLANT MATERIALS AS WELL AS TO PROVIDE AN AESTHETICALLY APPROVED PRODUCT. CONTRACTOR SHALL REFER TO THE PLANTING DETAILS FOR MINIMUM SIZE AND WIDTH OF PLANTING PITS AND BEDS, GUYING AND STAKING, MULCHING, AND OTHER PLANTING REQUIREMENTS.
11. ALL PLANTING AREAS SHALL BE WEED FREE PRIOR TO PLANTING INSTALLATION.
12. REMOVE ALL PLANTING AND LANDSCAPE DEBRIS FROM THE PROJECT SITE AND SWEEP AND WASH CLEAN ALL PAVED AND FINISHED SURFACES AFFECTED BY THE LANDSCAPE INSTALLATION.

**PLANTING SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
<b>DECIDUOUS TREES</b>					
LI TU	LIRIODENDRON TULIPIFERA	TULIP TREE	3" GAL		85B
CA SP	CATALPA SPECIOSA	NORTHERN CATALPA	3" GAL		85B
CE CA	CESTRUM CANADENSE	REDROD	5-10" HT.		85B
RI TY	RIBUS TYPHINA	STACHORN SUMAC	5 GAL	72" O.C.	
UL FR	ULMUS 'FRONTIER'	FRONTIER ELM	3" GAL		85B
<b>SHRUBS</b>					
AR ME	ARONIA MELANOCARPA	BLACK CHOKEBERRY	3 GAL	72" O.C.	
CO RA	CORNUS RACEMOSA	GRAY DOGWOOD	3 GAL	72" O.C.	
HA VI	HAMAMELIS VIRGINIANA	COMMON WITCHHAZEL	5 GAL		PER PLAN
HY GJ	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	3 GAL	72" O.C.	
E SP	ELAEAGNUS 'SKY PEROLE'	SKY PENICIL HOLLY	3 GAL	24" O.C.	
H CR	HEDERA CRENATA	JAPANESE HOLLY	3 GAL	48" O.C.	
RI AR	RIBUS AROMATICA 'GRO LOW'	GRO-LOW SUMAC	3 GAL	48" O.C.	
VI DE	VIBURNUM DECATUM	ARROWWOOD VIBURNUM	3 GAL	72" O.C.	
<b>PERENNIALS, GRASSES, AND GROUND COVERS</b>					
EC CH	ECHINACEA CHEYENNE SPIRIT	CONEFLOWER	1 GAL	18" O.C.	
SO SC	SCHIZANTHUS SCOPARIUM	LITTLE BLUE STEM	1 GAL	24" O.C.	
EE AU	ELEOCHARIS ALTIMA	AUTUMN MOOR GRASS	1 GAL	18" O.C.	
<b>VINE</b>					
PA TR	PANTHEMOERUS THROGSMITHIA	BOSTON BRY	1 GAL	72" O.C.	

**PLANTING LEGEND**



APPENDIX A

10.25.21 ISSUE FOR FINAL DEVELOPMENT PLAN REVIEW  
 11.01.21 ISSUE FOR CONSTRUCTION TECHNICAL DESIGN REVIEW

NO. 048  
 ENGINEER  
 SUBMISSIONS & REVISIONS

OWNER - STUDENT RESIDENCES

**CORE SPACES**  
 160 N. LAUREL STREET  
 CHICAGO, IL 60604  
 773.988.1344

OWNER - PARKING STRUCTURE:  
**DH-UC HOLDINGS II LLC**  
 1600 WEST BROADWAY STREET  
 SUITE 200  
 CHICAGO, IL 60607  
 MAIN: 312.616.2764

ARCHITECT  
**ANTONOVICH ASSOCIATES**  
 224 WEST MARION STREET, SUITE 7E  
 CHICAGO, IL 60604  
 MAIN: 312.204.1120  
 FAX: 312.204.1120  
 ANTONOVICH.COM  
 STRUCTURAL ENGINEER

DCI ENGINEERS  
 815 SOUTH COLUMBIA AVE, SUITE 400  
 SIOUX FALLS, SD 57105

M.E.R. & P. ENGINEERS

SOIL ENGINEER  
**BAUER ENGINEER**  
 1406 RACE STREET, OFFICE 204  
 ALLIANT, ST. LOUIS  
 616.584.9181

LANDSCAPE ARCHITECT  
**MRCSK**  
 200 SOUTH WENDELL STREET  
 BIRMINGHAM, AL 35203  
 317.425.8800

GENERAL CONTRACTOR  
**J.J. FINDORFF & SON INC.**  
 200 S. BOSTON STREET  
 MADISON, WI 53703  
 608.271.0421

PROJECT LOCATION  
**HUB AT CINCINNATI**

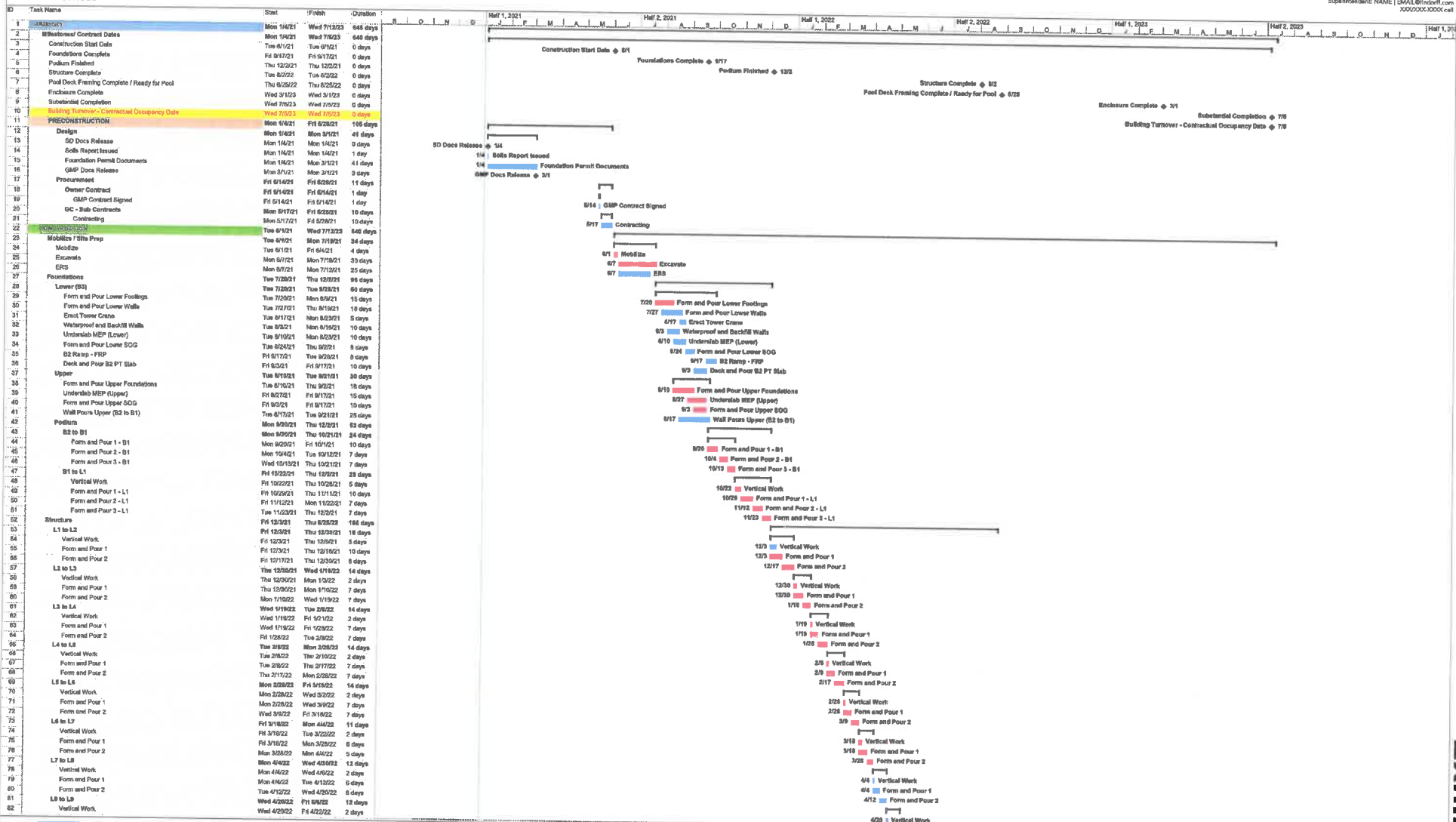
ISSUE TITLE  
**PLANTING PLAN**

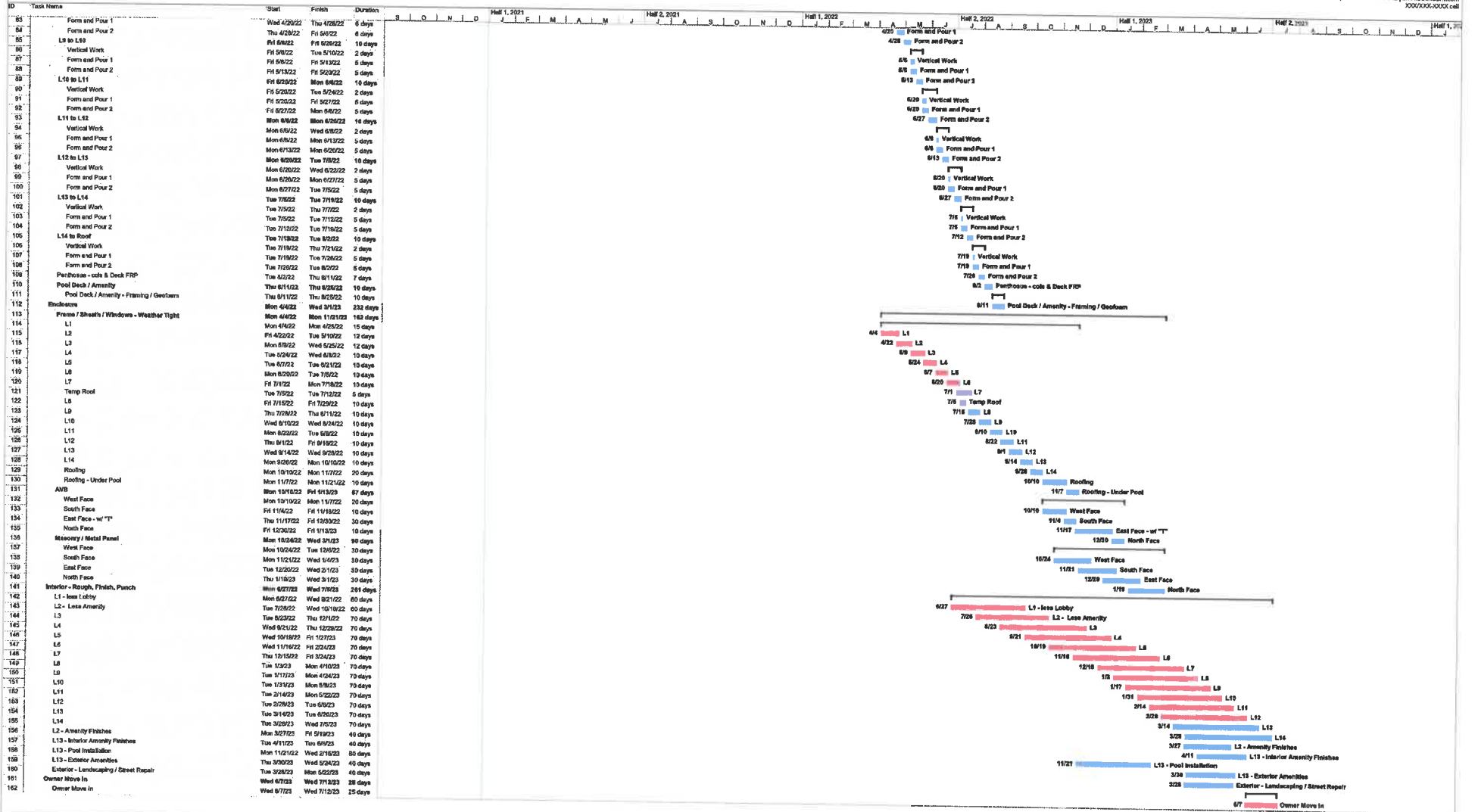
SCALE: 1" = 10'-0"

DESIGNED BY:  
 CHECKED BY:  
 PROJECT NO.:

PLANTING NO.:  
**L3.00**

DATE: 10/25/21





Task Legend: Milestone (blue diamond), Summary (blue bar), Critical (red bar), Progress (black bar)

12.30.20 - HUB at Clifton Heights Schedule.mpp  
 Date: Thu 12/31/20  
 Page 2





Commitment No. 2095533

**COMMITMENT FOR TITLE INSURANCE ISSUED  
BY  
CHICAGO TITLE INSURANCE COMPANY**

**NOTICE**

**IMPORTANT—READ CAREFULLY:** THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

**COMMITMENT TO ISSUE POLICY**

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, Chicago Title Insurance Company, a Florida corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I—Requirements have not been met within **180 days** after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

**COMMITMENT CONDITIONS**

**1. DEFINITIONS**

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Chicago Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.*

- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
  - (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
  - (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
  - (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
  - (h) "Title": The estate or interest described in Schedule A.
2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.
3. The Company's liability and obligation is limited by and this Commitment is not valid without:
- (a) the Notice;
  - (b) the Commitment to Issue Policy;
  - (c) the Commitment Conditions;
  - (d) Schedule A;
  - (e) Schedule B, Part I—Requirements; and
  - (f) Schedule B, Part II—Exceptions; and
  - (g) a counter-signature by the Company or its issuing agent that may be in electronic form.
4. **COMPANY'S RIGHT TO AMEND**  
 The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.
5. **LIMITATIONS OF LIABILITY**
- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
    - (i) comply with the Schedule B, Part I—Requirements;
    - (ii) eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
    - (iii) acquire the Title or create the Mortgage covered by this Commitment.
  - (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
  - (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
  - (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.

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- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

**6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT**

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

**7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT**

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

**8. PRO-FORMA POLICY**

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

**9. ARBITRATION**

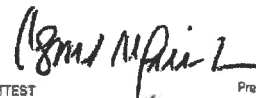
The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.



Countersigned: \_\_\_\_\_  
Authorized Signatory

CHICAGO TITLE INSURANCE COMPANY

By:



ATTEST

President



Secretary

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Date Issued: January 4, 2021  
Commitment No.: 2095533

Other Reference No.:

Property Address: Straight Street, Cincinnati, Ohio 45219  
Name and Address of Chicago Title Insurance Company  
Title Insurance Company: PO Box 45023  
Jacksonville, FL 32232

SCHEDULE A

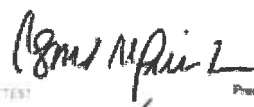
- 1. Commitment Date: December 14, 2021 at 7:59 a.m.
- 2. Policy or Policies to be issued:
  - (a) 2006 ALTA Owner's Policy  
Proposed Insured:  
Proposed Policy Amount:
  - (b) 2006 ALTA Loan Policy  
Proposed Insured: TBD  
Proposed Policy Amount: \$14,000,000.00
  - (c) \_\_\_\_\_ ALTA \_\_\_\_\_ Policy  
Proposed Insured: N/A  
Proposed Amount: N/A
- 3. The estate or interest in the land described or referred to in this Commitment is FEE SIMPLE
- 4. Title to the estate or interest in the Land is at the Commitment Date vested in:
  - OH-UC Holdings II LLC, a Delaware limited liability company
  - SOURCE OF TITLE:  
[Official Record Volume 13511, Page 1686](#)  
Recorder's Office, Hamilton County, Ohio.
- 5. The Land is described as follows:  
(Continued on Second Page)






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Authorized Officer or Agent  
Developers Title, LLC  
495 Executive Campus Drive  
Westerville, OH 43082

CHICAGO TITLE INSURANCE COMPANY

By  President

ATTEST  Secretary



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File No. 2095533



Schedule A – Continued

Situated in the City of Cincinnati, Hamilton County, Ohio:

Being all of Lots 7 through 18 and parts of Lots 19 and 21 and a vacated alley of Taffel and Lampe's Subdivision, as recorded in Plat Book 10, Page 61 of the Hamilton County, Ohio Records and part of Lot 59 of Colonel John Riddle's Subdivision, as recorded in Plat Book 1, Page 265 of Hamilton County, Ohio Records, described as follows:

Beginning at the intersection of the east line of Stratford Street with the north line of Straight Street;

Thence North 0 deg. 56' East, along the east line of Stratford Street, a distance of 397.00 feet;

Thence South 89 deg. 22' East, a distance of 100.00 feet;

Thence South 0 deg. 56' West, a distance of 97.00 feet;

Thence South 89 deg. 22' East, a distance of 125.00 feet;

Thence South 0 deg. 56' West, a distance of 90.00 feet;

Thence North 89 deg. 22' West a distance of 125 feet;

Thence South 0 deg. 56' West, a distance of 210.00 feet to the north line of Straight Street;

Thence North 89 deg. 22' West, along the north line of Straight Street, a distance of 100.00 feet to the place of beginning.

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File No. 2095533



**SCHEDULE B - Part I**  
Requirements

Commitment No: 2095533

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. The Company requires the following documents from OH-UC Holdings II LLC (the "LLC"):
  - a. A certificate of Good Standing from the Secretary of State (or equivalent) from the LLC's jurisdiction of formation or for the State of OH (State Wherein the Property is Located);
  - b. A full, complete and executed copy of the LLC's Operating Agreement, together with any and all amendments;
  - c. Joinder of all members of the LLC in the execution and delivery of the instruments necessary to consummate the transaction which is the subject of this commitment; or
  - d. A Resolution signed by all of the members of the LLC authorizing the transaction and designating, identifying and authorizing the specific member(s) authorized to execute and deliver the instruments necessary to consummate the transaction which is the subject of this commitment.
6. All Deeds must be accompanied with a DTE Form 100, Real Property Conveyance Fee Statement of Value and Receipt. Note: If claiming an exemption submit the DTE Form 100(EX) with the Deed.
7. Payment of the Conveyance Fee at a cost of \$4.00 per \$1,000.00 of consideration and a \$0.50 per parcel transfer tax in Hamilton County, Ohio. Note: Ohio has no mortgage tax.
8. Please provide a draft deed so the legal description may be approved with the County tax office no later than two weeks from closing. The County Tax Map office reserves the right to require a new legal description be created for a new conveyance and creation of the new legal description can take in excess of three weeks and delay closing. Any instrument of conveyance creating an insured interest must comply with local rules on descriptions and conveyances pursuant to Sections 315.251 and 319.203 of the Ohio Revised Code.
9. Suggestions to decrease rejection of the documents presented at the time of recording:
  - Top margin of the first page reserved for recorder 3" margin and all other top margins at 1 1/2";
  - Legal description need to be on all documents for recording and include Parcel numbers;
  - Documents for recording should include the mailing address for all parties;
  - All documents must include the name and address of preparer with the statement "This instrument prepared by" at the conclusion of the document;

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File No. 2095533



- A return-to address may be included on the first page;
- Names must be legibly printed, typed or stamped immediately beneath the signatures. Corporate seal not required; and
- Derivation clauses are recommended on Deeds, Assignments and Mortgage amendments. Note: See further Ohio Revised Code §317.114 and Chapter 5301.

10. If a Zoning Endorsement is requested the company requires a complete Zoning Report, or a Zoning Compliance Letter from the appropriate governmental entity, or an Attorney's Zoning Opinion Letter. A copy of the civil drawings and the site plan may also be required.
11. If survey coverage or a survey endorsement is requested the company may require a new ALTA/NSPS Land Title Survey. A new survey may also be required for the issuance of other survey related endorsements.
12. All parties to the transaction must provide identification sufficient to comply with the USA Patriot Act as determined by their lender and the policy-issuing agent.
13. Duly executed Owners Affidavit covering matters of Title, in a form acceptable to the Company.

Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.

14. NOTE: Your attention is directed to the provisions of the Tax Reform Act of 1986 which require the reporting of real estate transactions to the Internal Revenue Service. All real estate transactions (except for refinances) closed after January 1, 1987 must be reported on a Form 1099-S which must be completed in full at the time of closing.
15. Further exceptions and/or requirements may be made upon review of the proposed documents and/or upon further ascertaining the details of the transaction.

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File No. 2095533



**SCHEDULE B – Part II**  
Exceptions

Commitment No: 2095533

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

STANDARD EXCEPTIONS

1. Any defects, liens, encumbrances, adverse claims or other matter that appear for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of Schedule B, Part I – Requirements are met.
2. Any facts, rights, interests, or claims that are not shown in the Public Records but that could be ascertained by an inspection of the land or by making inquiry of persons in possession of the land.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title including discrepancies, conflicts in the boundary lines, shortage in area, or any other facts that would be disclosed by an accurate and complete land survey of the Land, and that are not shown in the Public Records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereinafter furnished, imposed by law and not shown in the public records.
5. Rights of parties in possession of all or any part of the premises, including, but not limited to, easements, claims of easements or encumbrances that are not shown in the public records.
6. The lien of real estate taxes or assessments imposed on the title by a governmental authority that are not shown as existing liens in the records of any taxing authority that levies taxes or assessments on real property or in the public records.
7. The following exception will appear in any loan policy to be issued pursuant to this commitment: Oil and gas leases, pipeline agreements, or any other instrument related to the production or sale of oil or natural gas which may arise subsequent to the Date of Policy.
8. Coal, oil, natural gas, or other mineral interests and all rights incident thereto now or previously conveyed, transferred, leased, excepted or reserved.

SPECIAL EXCEPTIONS

9. All assessments and taxes for 2020 and all subsequent years, which are not yet due and payable.

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File No. 2095533



10. Taxes for the year 2019 in the name of OH-UC Holdings II LLC, a Delaware limited liability company are as follows:  
As to [Parcel No. 101-0007-0023-00](#)  
Taxes for the First Half in the amount of \$43,287.56 are Paid: Taxes for the Second Half in the amount of \$43,180.06 are Paid.  
(Assessed Valuation: Land \$102,410.00, Improvement \$0.00: Total \$102,410.00)
11. Taxes for the year 2019 in the name of OH-UC Holdings II LLC, a Delaware limited liability company are as follows:  
As to [Parcel No. 101-0007-0178-00](#)  
Taxes for the First Half in the amount of \$497.28 are Paid: Taxes for the Second Half in the amount of \$497.28 are Paid.  
(Assessed Valuation: Land \$12,880.00, Improvement \$0.00: Total \$12,880.00)
12. Future special assessments on the tax duplicate occasioned by past due water bills, sewer bills, weed cutting charges, property clean-up and building maintenance charges assessed by a government authority.
13. NOTE: The Policy(s) of insurance may contain a clause permitting arbitration of claims at the request of either the Insured or the Company. Upon request, the Company will provide a copy of this clause and the accompanying arbitration rules prior to the closing of the transaction.
14. Restrictive Covenant Agreement by and between OH-UC Holdings IA LLC, a Delaware limited liability company and OH-UC Holdings II LLC, a Delaware limited liability company dated September 25, 2017, filed for record September 27, 2017 and recorded in [Official Record Volume 13511, Page 1514](#), Recorder's Office, Hamilton County, Ohio.
15. All matters on Plat A recorded in [Plat Book 1, Page 265](#), Recorder's Office, Hamilton County, Ohio.
16. All matters shown on Plat of Tafel, Glaser and Lampe's Subdivision of record in [Plat book 7, Page 66](#), Recorder's Office, Hamilton County, Ohio.
17. All matters shown on the Plat of Tafel and Lampe's Subdivision of record in [Plat Book 10, Page 61](#), Recorder's office, Hamilton County, Ohio
18. All matters shown on the Plat of Overlook Park of record in [Plat Book 22, Page 11](#), Recorder's Office, Hamilton County, Ohio.
19. All matters shown on the Pat of Survey of Deaconess Hospital of record in [Plat book 305, Page 99](#), Recorder's Office, Hamilton County, Ohio.

NOTE: Pertaining to the covenants and restrictions, if any, described in Schedule B of this Commitment/Policy, the following is expressly omitted therefrom: any covenant or restriction based on race, color, religion, sex, handicap, familial status or national origin unless and only to the extent that such covenant (a) is exempt under Chapter 42, Section 3607 of the United States Code or (b) related to handicap but does not discriminate against handicapped persons. Any covenant and restriction, or any part thereof, omitted as described above shall in no event be construed as forming a part of this Commitment/Policy, Schedule B of this Commitment/Policy or as an existing covenant and restriction disclosed by the public records.

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File No. 2095533



Appendix E

Proposed Permitted Uses within PD District

Legend:  
Dinsmore New Definitions for Insertion: **Yellow**

1. **Retail—direct selling to a consumer**

- *Food Service*
  - Eating and drinking establishment—a business that is primarily engaged in serving prepared food or beverages for consumption on or off the premises (CMC §1401-01-E1)
  - Restaurants, full service—Restaurants providing food and beverage services to patrons who order and are served while seated (table service) and pay after eating. Takeout service may be provided (CMC §1401-01-E1)
  - Restaurants, limited—Restaurants providing food and beverage services to patrons who order and pay before eating. Food and beverages may be consumed on the premises, taken out or delivered. Table service is not provided. This classification includes cafeterias, cafes, fast-food outlets, pizza delivery, snack bars and takeout eating places (CMC § 1401-01-E1)
  - Brewery
  - Distillery
  - Walk-Up Window for retail and food services
  - Food market—An establishment for retail sales of food and beverages for off-site preparation and consumption (CMC § 1401-01-F8)
  - Food preparation—A business that prepares food and beverages for off-site consumption, including delivery services (CMC §1401-01-F9)
  - Drinking establishments—Bars, nightclubs, lounges or dance halls serving beverages for consumption on the premises as a primary use and including on-site service of alcohol, including beer, wine and mixed drinks (CMC §1401-01-E1)
- Other Retail
  - Convenience market—an establishment that retail a limited line of goods that generally include milk, bread, soda, and snacks. Convenience markets may or may not include fuel sales (CMC § 1401-01-C20)
  - Grocery
  - **Patio and garden store, limited**—an establishment engaged in the retail sale of patio furniture and equipment, garden supplies, plants, and other accessories. This classification does not include the rental of landscaping equipment
  - Personal services—The provision of recurrently needed services of a personal nature. This classification includes barber and beauty shops, nail salons, tanning salons, massage therapy, electrolysis, seamstresses, tailors, shoe repair, dry cleaners (excluding dry cleaning plants), self-service laundries and photographic studios (CMC § 1401-01-P11)
  - Retail sales, including alcohol sales—an establishment engaged in sales of goods, including, but not limited to: alcoholic beverage sales, furniture and home furnishings, electronics and appliances, clothing and shoes, jewelry, luggage and leather goods, sporting goods and hobbies, books, periodicals and music, tobacco

sales, department stores, florists, office supplies and stationary, gifts and novelties, pets, hardware, video stores and auto parts. This classification includes the retail sale or rental of merchandise not specifically listed under another use classification (CMC § 1401-01-R13)

- Banks and financial institutions—An establishment that provides retail banking, credit and mortgage services to individuals and businesses. This classification includes banks and savings and loan establishments, brokerage firms, check cashing and currency exchange outlets and stand-alone automated teller machines (CMC § 1401-01-B)
- Recreation and Entertainment—the provision of recreation or entertainment to paying participants or spectators (CMC § 1401-01-R2)
  - Recreation and entertainment: Indoor or small-scale—includes small, generally indoor facilities, although some facilities may be outdoor, including: fitness centers, gymnasiums, handball, racquetball or tennis club facilities, ice or roller skating rinks, movie theaters (three or fewer screens); billiard parlors, bowling centers, poolrooms, miniature golf courses and amusement arcades (CMC § 1401-01-R2)
  - Recreation and entertainment: outdoor or large-scale, limited—includes: swimming pools; entertainment complexes; movie theaters (4 or more screens); and indoor archery ranges.
  - Parks and recreation facilities, limited—A park, playground, recreation facility and open space. This classification includes community centers, gymnasiums, picnic facilities, and botanical gardens, as well as related food concessions

2. Mixed Use—a building or lot containing residential and commercial or industrial uses (CMC § 1401-01-M7)

### 3. Residential Uses

- Student housing
  - Student Residences—1 to 5 bedroom residential units sharing a single common area
  - Dormitories
  - Fraternity & Sorority House—a building used as group living quarters for students of a college or university, who are members of a fraternity or sorority recognized by the college or university (CMC § 1401-01-F10)
  - Rooming houses—A building containing three or more rooming units not offering nursing or dietary care, therapy or counseling for its occupants (CMC § 1401-01-R14)
- Senior housing
  - Shared housing for elderly—a residence for not more than ten adults, the majority of whom are 60 years of age or older, either cooperatively established by the residents or under the sponsorship of a non-profit organization; provided that the residents are living together as a family and are all capable of self-preservation without assistance in the event of an emergency (CMC § 1401-01-S5)
  - Residential care facility—an establishment operated for the purpose of providing special care or rehabilitation to the occupants (CMC § 1401-01-R9)



- Assisted living facility—An institution, residence or facility licensed by the State of Ohio that provides accommodation and personal assistance to more than three residents who are dependent on the services of others by reason of age and physical or mental impairment, but that is not licensed to provide skilled nursing care (CMC § 1401-01-A11)
- Developmental disability dwelling—An establishment licensed by the State of Ohio that is located in a single-family residence and provides accommodation, personal care, habilitation services and supervision in a family setting for not more than eight residents with developmental disabilities and employees caring for such residents (CMC § 1401-01-D8)
- Nursing home—An institution, residence or facility licensed by the State of Ohio that provides accommodation, personal assistance and skilled nursing care to more than three residents who are dependent on the services of others by reason of age and physical or mental impairment (CMC § 1401-01-N2)
- Congregate housing—Apartments and dwellings with communal dining facilities and services, such as housekeeping, organized social and recreational activities, transportation services and other support services appropriate for the residents (CMC § 1401-01-C17)
- Dwelling—one or more rooms with a single kitchen designed for occupancy by one family for living and sleeping purposes (CMC § 1401-01-D16)
  - Single-family dwelling—A freestanding building designed for occupancy by one family (CMC § 1401-01-S9)
  - Attached single-family dwelling—A dwelling unit that is attached to one or more dwelling units, each with independent exterior access and each with no less than two exterior walls (CMC § 1401-01-A12)
  - Rowhouse: single-family— A dwelling unit on its own lot that is part of a rowhouse building (CMC § 1401-01-R17)
  - Two-family dwelling—A single building that contains two dwelling units. (CMC § 1401-01-T3)
  - Multi-family dwelling—A building or group of buildings that contain three or more dwelling units (CMC § 1401-01-M8)
  - Loft dwelling unit—A dwelling unit which may contain a studio, gallery, office or business (CMC § 1401-01-L3)

#### 4. Guest facilities

- Hotel—A facility with six or more guest rooms or suites designed for transient habitation, where access to individual units is predominantly through a common lobby that may provide additional services, such as conference and meeting rooms, restaurants, bars or recreation facilities available to guests or to the general public. This classification includes motor lodges, motels, hostels, extended stay hotels and tourist courts, but does not include rooming houses, boarding houses or residential hotels that are used, designed or intended to be used for sleeping for a period of 30 consecutive days or longer (CMC § 1401-01-H5)
- Short term lodging—a dwelling providing lodging and use of a kitchen to paying guests for a maximum stay of no more than four consecutive weeks

## 5. Office

- Office—A facility for a firm or organization that primarily provides professional, executive, management or administrative services, such as accounting, advertising, architectural, city planning, computer software consulting, data management, engineering, medical, dental, chiropractors, or other health care professionals, environmental analysis, insurance, interior design, investment, graphic design, landscape design, law and real estate offices, drafting and recording studios (CMC § 1401-01-O)
- Co-working space—a space which may combine office, athletic, or reception uses or other social workspaces and requires membership for use of the space
- Government facilities and offices—include the following:
  - (a) Facilities and installations—Major mail processing centers, military installations, vehicle emissions testing facilities and other similar facilities; or
  - (b) Offices—Administrative, clerical or public contact offices of a government agency, together with incidental storage and maintenance of vehicles, including post offices (CMC § 1401-01-G1)
- Incubator—a public, private sector collaboration providing management, mentoring, workspace or other services for business, academic, non-profit, institutional or start-up organizations

6. Education—A public school district, parochial school, institution of university or senior college rank, school of art or music, or any other educational institution where the same is operated primarily for education (CMC § 401-85-E)

- Colleges, public or private—An institution of higher education providing curricula of a general, religious, or professional nature, typically granting recognized degrees, including conference centers and academic retreats associated with such institutions. This classification includes business and computer schools, management training, technical and trade schools, but excludes personal instructional services (CMC §1401-01-C5)
- Schools, public or private—A facility for educational purposes that offers a general course of study at primary, middle, or high school levels and vocational and trade programs that are incidental to the operation of such schools (CMC § 1401-01-S)
  - Day care facilities
    - Day care center—An establishment, other than a Day Care Home, licensed by the State of Ohio when required and providing care and supervision for seven or more persons on a less than 24-hour basis. This classification includes nursery schools, preschools, day care centers for children or adults and any other day care facility licensed by the State of Ohio. (CMC §1401-01-D)
    - Day care home – Adult—A day care facility located in a permanent residence where an occupant of the residence provides care and supervision for three or fewer adults at one time with no outside employees (CMC § 1401-01-D1)
    - Day care home-Type A—A child care facility located in a permanent residence where an occupant of the residence provides care and supervision for seven to twelve children at one time, including children under the age of 6 related to the provider. The provider must be licensed by the State of Ohio Department of Human Services and can have no more than one employee assisting (CMC §1401-01-D2)

- Day care home-Type B—A child care facility located in a permanent residence where an occupant of the residence provides care and supervision for six or fewer children at one time, including children under the age of 6 related to the provider. No employees are permitted (CMC §1401-01-D3)

## 7. General Commercial

- Commercial meeting facility—A facility used for assemblies or meetings of the members or representatives of a group, such as convention centers and banquet halls. This classification does not include clubs, lodges or other meeting facilities of private or non-profit groups that are primarily used by group members (CMC § 1401-01-C7)
- Laboratories, commercial—A facility for medical, optical, orthotic, prosthetic, or dental laboratory services, photographic, analytical, or testing services and scientific research facilities (CMC § 1401-01-L)
- Business services—An establishment providing document delivery, mail receiving and boxes, blueprinting, typesetting, copying, desktop publishing and photographic services (CMC § 1401-01-B-16)
- Production Industry, Artisan—Establishments primarily engaged in on-site production of goods by hand manufacturing, involving the use of hand tools and small-scale equipment (CMC § 1401-01-P19)
- Indoor storage—A facility for the keeping of business, personal property and office records, including mini warehouses (CMC §1401-01-I12)
- Logistical distribution—establishment engaged in short-term storage and distribution of packages, including the use of lockers, self-serve kiosks, or mailboxes
- Public service facilities—A facility for public safety and emergency services, including police and fire protection and police and fire training facilities (CMC § 1401-01-P21)
  - Public maintenance facilities—A governmentally owned facility providing maintenance and repair services for vehicles and equipment and areas for storage of equipment and supplies (CMC § 1401-01-P20)
  - Public safety facilities—A facility for public safety and emergency services, including police and fire protection and police and fire training facilities (CMC § 1401-01-P21)
  - Ambulance services—Administrative facilities for emergency medical care, including the provision of transportation services and the maintenance of vehicles (CMC §1401-01-A6)
- Service facilities
  - Animal care—the grooming, spa treatment, or medical care for small animals and day boarding of such animals
  - Maintenance and repair services—An establishment providing repair services for personal and household goods, such as household appliances, computers, television, audio or video equipment, office machines, furniture and leather goods. This classification excludes building maintenance services and maintenance and repair of automobiles and other vehicles and equipment (CMC §1401-01-M)
- Community service facilities—A noncommercial facility established primarily for the benefit and service of the populations of the communities in which they are located, such

- as YMCA or YWCA facilities, boys and girls clubs and offices of community councils, non-profit civic, religious, welfare or philanthropic organizations (CMC §1401-01-C15)
- Religious assembly—An establishment for religious worship and other religious ceremonies, including religious education, rectories and parsonages, offices, social services, columbaria and community programs (CMC § 1401-01-R7)
  - Cultural institutions—A nonprofit institution engaged primarily in the performing arts or in the display or preservation of objects of interest in the arts or sciences that are open to the public on a regular basis. This classification includes performing arts centers for theater, dance and events, museums, historical sites, art galleries, libraries, aquariums and observatories (CMC § 1401-01-C23)
  - Clubs and lodges—A meeting, recreational, or social facility of a private or nonprofit organization or public institution primarily for use by members or guests including residential accommodations that are available to members or guests on a temporary basis but excluding residential hotels. This classification includes union halls and social clubs (CMC §1401-01-C3)
  - Recreation and Entertainment—the provision of recreation or entertainment to paying participants or spectators (CMC §1401-01-R2)
    - Recreation and entertainment: Indoor or small-scale—includes small, generally indoor facilities, although some facilities may be outdoor, including: fitness centers, gymnasiums, handball, racquetball or tennis club facilities, ice or roller skating rinks, movie theaters (three or fewer screens); billiard parlors, bowling centers, poolrooms, miniature golf courses and amusement arcades (CMC §1401-01-R2)
    - Recreation and entertainment: outdoor or large-scale, limited—includes: swimming pools; entertainment complexes; movie theaters (4 or more screens); and indoor archery ranges.
    - Parks and recreation facilities, limited—A park, playground, recreation facility and open space. This classification includes community centers, gymnasiums, picnic facilities, and botanical gardens, as well as related food concessions

## 8. Medical

- Hospital—A state-licensed facility providing medical, surgical, psychiatric or emergency medical services to sick or injured persons. This classification includes facilities for inpatient or outpatient treatment, including drug and alcohol abuse programs as well as training, research and administrative services for patients and employees (CMC § 1401-01-H4)
- Medical services and clinics—Offices organized as a unified facility for more than two licensed physicians, dentists, chiropractors, or other health care professionals providing diagnosis or care of sick or injured persons but are not provided with room and board and are not kept overnight on the premises. Medical Services and medical clinics include medical and dental laboratories incidental to the medical office use (CMC §1401-01-M4)

## 9. Telecommunications

- Communications facilities—Broadcasting and other communication services accomplished through electronic mechanism (CMC §140-01-C11)

- Public utility distribution system—A facility for the distribution of gas, electricity, water, steam, hot water, chilled water and landline communications (CMC § 1401-03-P3)
- Radio and television broadcast antenna, limited—antenna no more than 20 feet above the roofline of any building to which such antenna is attached
- Wireless communication antenna—An antenna designed to transmit or receive communications as authorized by the Federal Communication Commission, excluding amateur radio operator antennae and parabolic antennae (CMC § 1401-01-W4)
- Wireless communication tower—A structure that elevates the wireless communication antenna and may include accessory transmission and receiving equipment, including, but not limited to, self-supporting lattice, guyed or monopole towers (CMC § 1401-01-W5)

#### 10. Parking/Transportation

- Parking facility, principal use—A parking lot or a parking garage offering parking to the public and is the principal use of the premises (CMC § 1401-01-P2-A)
- Parking facility, accessory use—A parking lot or a parking garage offering parking to the public and except as other specified, incidental to a principal structure or use on the same lot (CMC § 1401-01-P2-B)
- Temporary Parking Lot—a paved temporary parking lot, used for a period extending until the next phase of a multi-phase development within a PD District, for the purpose of parking vehicles accessory to the commercial or residential uses of such PD District
- Vehicle and equipment services, limited —A facility for vehicle and equipment sales, including the sale of scooters and other vehicles, in an interior or exterior showroom; any such exterior showroom shall be limited to 10 parking spaces per parking facility
- Short term vehicle rental—a facility used for the hourly or daily rental of automobiles, motorcycles, and other light vehicles, including storage and incidental maintenance of such vehicles which is limited to 10 parking spaces per parking facility
- Car wash, limited—the washing, waxing or cleaning of automobiles or similar light vehicles, limited in capacity to 10 parking spaces per parking facility
- Vehicle charging stations—a station or stations within a parking facility that connects a vehicle to a source of electricity for recharging purposes as a free amenity or for a fee
- Light rail passenger terminals—a facility used to board and discharge passengers at track or car floor level adjacent to an electric railway system characterized by its ability to operate single cars or short trains along exclusive rights-of-way
- Food Trucks

Appendix E uses are not intended to be exclusive, but rather representative of the categories of uses (including accessory uses) proposed in this PD District. By way of example, retail would include women's apparel sales, as well as all uses included within the definition of retail under the Cincinnati Zoning Code.

See Exhibit A to this Appendix E for permitted use categories within each sub-area of the proposed development.

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**EXHIBIT A**

<b>PROPOSED PERMITTED USES IN PD DISTRICT*</b>						
<b>PERMITTED USES**</b>	<b>SUB AREA</b>					
	<b>A</b>	<b>B</b>	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
<b>RETAIL</b>	X	X	X			X
<b>MIXED USE</b>	X	X	X	X		X
<b>RESIDENTIAL (Excluding Student Residences)</b>	X	X	X	X	X	X
<b>RESIDENTIAL (Including Student Residences)</b>	X				X	X
<b>GUEST FACILITIES</b>	X	X	X	X	X	X
<b>OFFICE</b>	X	X	X			
<b>EDUCATION</b>	X	X	X	X	X	X
<b>GENERAL COMMERCIAL</b>	X	X	X			X
<b>MEDICAL</b>	X	X	X	X	X	X
<b>TELECOMMUNICATIONS</b>	X	X	X	X		X
<b>PARKING/TRANSPORTATION</b>	X	X	X	X	X	X

\*References to the uses within each category require review of the Appendix E Definitions, of which this table is attached as Exhibit A.

\*\* Appendix E uses are not intended to be exclusive, but rather representative of the categories of uses (including accessory uses) proposed in this PD District. By way of example, retail would include women's apparel sales, as well as all uses included within the definition of retail under the Cincinnati Zoning Code.



January 28, 2021

Mr. Aaron Bartels  
Trinitas-Crawford Hoying I. LLC  
159 North Sangamon Street, Suite 200  
Chicago, IL 60607

Re: 350 Straight Street | The District at Clifton Heights (T) – (CPRE210011) Final Recommendations

Dear Mr. Bartels,

This letter is to inform you that our CSR Advisory-TEAM and CSPRO Committee has reviewed your proposed project at **350 Straight Street** in the Community of Heights. The information provided is the recommendations of the City of Cincinnati and must be followed as you move forward with your project. As a reminder, we will have a **WebEx conference call meeting** with you on **January 29, 2021 @ 1:30 pm** to discuss this information. Please see the feedback listed below. Thank you for developing within the City of Cincinnati.

### **City Planning Department**

#### **Immediate Requirements to move the project forward:**

1. Proposed use is consistent with approved Concept Plan and Development Program Statement for PD-86: The District at Clifton Heights.
2. **Final Development Plan is required for the proposal. Application(s) shall be submitted to the Department of City Planning, which will require review and approval by the City Planning Commission. This can be done as the first phase of the District at Clifton Heights Planned Development.**
3. **Final Development Plan submittal shall include and meet the requirements of Chapter 1429-13 of the Cincinnati Zoning Code.**
4. A Dedication Plat will require review and approval by the City Planning Commission.
5. Final Development Plan will take - Approximately 1 to 2 months
  - a. Public Staff Conference - Same scheduling requirements as the Public Staff Conference for the Zone Change and Concept Plan process
  - b. City Planning Commission - Final Decision

#### **Requirements to obtain permits:**

1. City Planning Commission shall review and approve a Final Development Plan for the proposal prior to submittal and approval of permits for the project.
2. A lot consolidation for the site shall be recorded through the Hamilton County Recorder's Office as the existing lot configuration has lot lines bisecting the structure. It is recommended this occur in conjunction with Final Development Plan approval.

#### **Recommendations:**

1. It is advised that the applicant coordinate with the CUF Neighborhood Association, the Clifton Heights Community Urban Redevelopment Corporation, the Clifton Heights Business Association, and the Corryville Community Council regarding the proposal.



**Contact:**

- **Andy Juengling** | City Planning | 513-352-4840 | [andy.juengling@cincinnati-oh.gov](mailto:andy.juengling@cincinnati-oh.gov)

**Buildings & Inspections – Zoning**

**Immediate Requirements to move the project forward:**

1. Located in PD - see City Planning comments. The property is also partially located within a Hillside Overlay District.
2. **As part of the PD process, a Hillside Review will be required as part of the Final Development Plan process.** All requirements of Chapter 1433 must be met, or Relief granted by the Planning Commission at the time of the Final Development plan. All application materials for the Hillside Review must be submitted in advance of the Planning Commission meeting.

**Requirements to obtain permits:**

- None

**Recommendations:**

- None

**Contact:**

- **Doug Owen** | ZPE | 513-352-2441 | [douglas.owen@cincinnati-oh.gov](mailto:douglas.owen@cincinnati-oh.gov)

**Metropolitan Sewer District (MSD)**

**Immediate Requirements to move the project forward:**

- None at this time

**Requirements to obtain permits:**

- None at this time

**Recommendations**

- None at this time

**Contact:**

- **Jim Wood** | MSD | 513-352-4311 | [jim.wood@cincinnati-oh.gov](mailto:jim.wood@cincinnati-oh.gov)

**Stormwater Management Utility (SMU)**

**Immediate Requirements to move the project forward:**

- None

**Requirements to obtain permits:**

1. Add detention calculation.
2. SMU will require an as built.
3. Are the 2 inlets @ midway point on Stratford being removed or staying?

**Recommendation:**

- None

**Contact:**

- **Josh Snow** | SMU | 513-591-5050 | [joshua.snow@cincinnati-oh.gov](mailto:joshua.snow@cincinnati-oh.gov)

**Water Works**

**Immediate Requirements to move the project forward:**

1. If petitioner is creating changes in the right-of-way, that change the water infrastructure then applicant must submit for a Greater Cincinnati Water Works Preliminary Application. Contact Shawn Wager at 513-591-7877 or [Shawn.Wagner@gcww.cincinnati-oh.gov](mailto:Shawn.Wagner@gcww.cincinnati-oh.gov) .
2. **If this development will have Air-Lots, the Developer must submit an Air-Lot Form for Water Service Covenant in order to obtain water service branches. Contact Cheri Bush 513-591-7886 or [Cheri.Bush@gcww.cincinnati-oh.gov](mailto:Cheri.Bush@gcww.cincinnati-oh.gov)**
  - a. **Each air-lot parcel must have its own domestic water service and will need a private water service branch easement and a Water Service Covenant from the Greater Cincinnati Water Works with the rights to maintain their water service though 1st floor.**
  - b. Fire service can be shared across parcels.

**Requirements to obtain permits:**

1. A Declaration of Easement and a Water Service Covenant must be fully executed and recorded with Hamilton County Recorder's Office before the GCWW can approve any water service branches to the property.
2. A stamped and recorded consolidation plat is required before any new branch(es) or meter(s) sold.

**Recommendations:**

1. **If project contains Air-Lot parcels, these parcels will need to be shown on the site plan.**
2. The Owner(s)/Developer(s) will need to hire a Greater Cincinnati Water Works certified licensed and bonded plumber to perform the private water service branch design work and installation.
3. The Owner(s)/Developer(s) must have a licensed plumber that is bonded and certified with GCWW and fill out the Online Branch application <https://www.cincinnati-oh.gov/water/engineering-construction/forms-specifications/> for water service.

**Contact:**

- **Rick Roell | WaterWorks | 513-591-7858 | [richard.roellr@gcww.cincinnati-oh.gov](mailto:richard.roellr@gcww.cincinnati-oh.gov)**

**Fire Department**

**Immediate Requirements to move the project forward:**

1. For this structure confirm that there are at least two fire hydrants that are within 400' from all parts of each structure.

**Requirements to obtain Permits:**

1. The minimum fire flow requirements for Commercial structures is a minimum of **2,000 gallons/per/minutes (GPM) @ 20 pressure/per/square inch (psi) (138Kpa)**.
2. The two closest Fire Hydrants to this project are **303 Straight Street** and **2604 Stratford Avenue**.
3. Hydrants and FDC placement are not to block fire apparatus access to the structures.
4. Confirm that the Fire Department Connection is within 50' of a fire hydrant.
5. Post indicator valves cannot be more than 40 feet from the building it services.

**CFPC 1229-13 Access Streets, Roadways or Driveways**

6. Access streets, roadways or driveways where required by Section 1229-11, shall conform to the following:
  - a. The surface shall be of sufficient strength and type to adequately support any fire division apparatus under any weather conditions:
  - b. The curve radii and grade elevations shall be such as to permit any fire department apparatus to negotiate curves and grades under any weather conditions.
7. **OFC 503.2.1 Dimensions.** Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), except for approved security gates in accordance with paragraph (C)(6)(503.6) of this rule, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).
8. **OFC 503.6 Security gates.** The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times.
9. **OFC 503.2.5 Dead ends.** Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus.

**The weight of our apparatus as well as the turning radius for each is as follow:**

Apparatus	Width	Length	Height	Weight	Front axle	Rear axle	Turn radius inside/outside
Ladder	10'	41'10"	11' 9"	70,000	21,600	48,000	35.45/39.25
Engine	10'	31'6"	9'5"	44,000	20,000	24,000	34'6"/41'6"
Ambulance	9' 4"	22'2"	9' 2"	18,500			34'/41'

10. Show any parking related to site and fire department **access to three sides** of the structure.
11. **Bidirectional antenna** for fire department communication is required for high-rise structures and maybe required for other structures.
12. An **Elevator** to the lowest level will be required.
13. The structures that are less than five stories the owner is to use five-inch Stortz connections for his FDC/s. **Structures that are over four stories in height, the owner is to use Siamese connections.**

**Recommendations:**

1. Meet with Fire to review building accessibility for Fire Protection.

**Contact:**

- **Robert Hart** | Fire Dept. | 513-357-7597 | [robert.hart@cincinnati-oh.gov](mailto:robert.hart@cincinnati-oh.gov)

**Office of Environment and Sustainability (OES)**

**Immediate Requirements to move forward with project:**

- None

**Requirements to obtain permits:**

1. If this project will include City qualified incentives, then it must receive environmental approval.
2. If this project will need to include a new City public right-of-way and/or permanent utility easement (i.e., water and/or sewer), then these must receive environmental approvals as per Administrative Regulation 30.
3. If offsite sourced fill is to be placed onsite, then it must receive environmental approval when it exceeds 500 cubic yards in a residentially zoned district or 1,000 cubic yards in any other zoned district (City Municipal Code Chapter 1031).
4. If this project will receive City qualified incentives, then the parking garage must include electric vehicle charging stations (City Ordinance 89-2017). If not, the inclusion of electric vehicle charging stations is otherwise recommended.
5. Bike rack areas must be included in the parking garage design (Municipal Code Section 413-16).
6. Commercial waste, including construction and demolition debris, generated during the renovation or demolition of existing structures and/or the construction of new structures as part of this development project must utilize a City franchised commercial waste collection service per Cincinnati Municipal Code Chapter 730. Current franchise holders include Rumpke of Ohio, Republic Services of Ohio, Best Way of Indiana, and Bavarian Trucking Company.

**Recommendations:**

1. The development goal should be to earn at a minimum the LEED Certified rating level.
2. Solar should be considered in the design as a renewable energy source.
3. Site areas designated for trash dumpsters or carts should also have at least equal space designated for recycling dumpsters or carts in the design.
4. The use of trees in the landscape design should be included to enhance urban forestry.
5. The use of pervious surfaces should be maximized to the extent practical in the design.

**Contact:**

- **Matt Mullin** | OES | 513-352-5344 | [matt.mullin@cincinnati-oh.gov](mailto:matt.mullin@cincinnati-oh.gov)

**Police Department**

**Immediate Requirements to move the project forward:**

- None currently.

**Requirements to obtain permits:**

- No comments.

**Recommendations:**

- None

**Contact:**

- **Katalin Howard** | Police Dept. | 513-352-3298 | [katalin.howard@cincinnati-oh.gov](mailto:katalin.howard@cincinnati-oh.gov)
- **Brandon Kyle** | Police Dept. | 513-564-1870 | [brandon.kyle@cincinnati-oh.gov](mailto:brandon.kyle@cincinnati-oh.gov)

**Health Department**

**Immediate Requirements to move the project forward:**

- None

**Requirements to obtain permits:**

1. A food facility plan review by the Cincinnati Health Department (CHD) will be required if future or current space (or tenant) is licensable (or is currently licensed) as a food service operation (FSO) or retail food establishment (RFE). If licensable, plumbing will not issue permits until CHD has completed the food facility review and approved the project.

**Recommendations:**

1. For assistance in determining whether facility is licensable as an FSO/RFE or not, please contact Trisha Blake.

**Contact:**

- **Trisha Blake** | Health Dept. | 513-352-2447 | [trisha.blake@cincinnati-oh.gov](mailto:trisha.blake@cincinnati-oh.gov)

**Parks Department (Urban Forestry)**

**Immediate Requirements to move the project forward:**

1. If working withing 15' of an existing City street trees, or Project requires its removal Applicant must submit a Public Tree Work Permit (PTWP) application. Any new street trees planted by the Applicant will also require PTWP prior to planting.

**Requirements to obtain permits:**

1. Conditions for approval of new trees are typically that applicant must furnish trees that are: matched, high quality, high-branched, single-trunked specimens (caliper size - TBD)
2. Planted to industry standards.
3. Forestry reserves right to inspect, select, tag, and approve trees *prior* to planting (e.g. at nursery) in cooperation with Applicant.
4. Forestry would insist on conditions for treelawn width OR size of tree cut-outs, and soil planting mix, and/ or backfill soil.

**Recommendations:**

1. Conditions for approval of new trees are typically that applicant must furnish trees that are: matched, high quality, high-branched, single-trunked specimens (caliper size - TBD)
2. Planted to industry standards.
3. Forestry reserves right to inspect, select, tag and approve trees prior to planting (e.g. at nursery) in cooperation with Applicant.
4. Forestry would insist on conditions for treelawn width OR size of tree cut-outs, and soil planting mix, and/ or backfill soil.

**Contact:**

- **Robin Hunt** | Urban Forestry. | 513-861-9070 | [robin.hunt@cincinnati-oh.gov](mailto:robin.hunt@cincinnati-oh.gov)

**Department of Transportation & Engineering (DOTE)**

**Immediate Requirements to move the project forward:**

- None

**Requirements to obtain permits:**

1. DOTE approves the proposed right of way lines.
2. Continue to work with DOTE on the detail designs within the right of way.
3. All work in the right of way requires a DOTE permit.
4. Assigned addresses: residential - 350 Straight St; retail space - 346 Straight St. Please contact [DTEaddress@cincinnati-oh.gov](mailto:DTEaddress@cincinnati-oh.gov) for questions.

**Recommendations:**

- None

**Contact:**

- **Morgan Kolks** | DOTE | 513-335-7322 | [morgan.kolks@cincinnati-oh.gov](mailto:morgan.kolks@cincinnati-oh.gov)

**Buildings & Inspections – Buildings**

**Immediate Requirements to move the project forward:**

- None

**Requirements to obtain permits:**

1. No issues at this time. Had preliminary meeting with design team.

**Recommendations:**

- None

**Contact:**

- **Robert Martin** | B&I Plans Exam | 513-352-2456 | [robert.martin@cincinnati-oh.gov](mailto:robert.martin@cincinnati-oh.gov)

**Department of Community & Economic Development (DCED)**

**Immediate Requirements to move the project forward:**

- None

**Requirements to obtain permits:**

- None

**Recommendations:**

- None

**Contact:**

- **Roy Hackworth** | DCED | 513-352-6119 | [roy.hackworth@cincinnati-oh.gov](mailto:roy.hackworth@cincinnati-oh.gov)

**Law Department**

**Immediate Requirements to move the project forward:**

- None

**Requirements to obtain permits:**

- No comments at this time

**Recommendations:**

- None

**Contact:**

- **Charles Martinez** | Law | 513-352-3359 | [charles.martinez@cincinnati-oh.gov](mailto:charles.martinez@cincinnati-oh.gov)

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FINAL ACTION: The CSR Advisory-TEAM and CSPRO Committee believes that the proposed project plans are moving in the appropriate direction and recommends that the project move forward to City Planning Commission subject to the following condition.

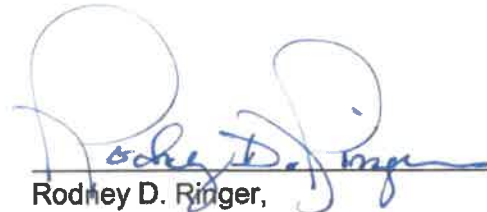
- **The subject development must follow the requirements listed above to ensure that the development meets the requirements of all agencies as they apply for all permits.**

Sincerely,



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Art Dahlberg,  
Director of Buildings and Inspections Department  
& CSPRO Committee Chair



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Rodney D. Ringer,  
Development Manager

AD:RDR:hs

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**APPLICATION FOR WRITTEN ADMINISTRATIVE DECISION  
CITY OF CINCINNATI PLANNING COMMISSION  
STAFF REPORT**

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APPLICANT: Bayer Becker  
OWNER: OH-UC Holdings II, LLC  
ADDRESS: **350 Straight Street**  
PARCEL: 101-0007-0023; 101-0007-0024; 101-0007-0025; 101-0007-0026;  
101-0007-0027; 101-0007-0028; 101-0007-0029; 101-0007-0030;  
101-0007-0031; 101-0007-0032; 101-0007-0033; 101-0007-0034;  
101-0007-0035; 101-0007-0178; 101-0007-00179  
ZONING: PD  
OVERLAY: Hillside Overlay  
COMMUNITY: CUF  
REPORT DATE: March 4, 2021  
HEARING DATE: March 19, 2021  
STAFF REVIEW: Douglas Owen, Zoning Plan Examiner

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**Details of Zoning Relief Required:**

1. **Section 1433-19(a) – Hillside Review** to allow a proposed building exceeding the allowable Maximum Building Envelope.
2. **Section 1421-19(g) – Hillside Review** to allow approximately 46 ft. of cumulative excavation and fill, exceeding the 8 ft. limit.

**Existing Conditions:**

The subject property is located at the northeast corner of the intersection of Straight Street and Stratford Avenue in the CUF neighborhood. The property is comprised of 15 parcels which are currently vacant. The property is located in a Planned Development (PD) Zoning District and is partially within a Hillside Overlay.

**Proposed Conditions:**

The applicant is proposing to construct a new student housing building consisting of 14 floors of residential with 380 units, 2,200 sf of commercial space and a three-level structured parking garage containing 169 parking spaces. The proposed building sits near the center of a larger mixed-use development in the surrounding area.

**Applicable Zoning Code Sections:**

1429: Planned Development Districts  
1433: Hillside Overlay Districts



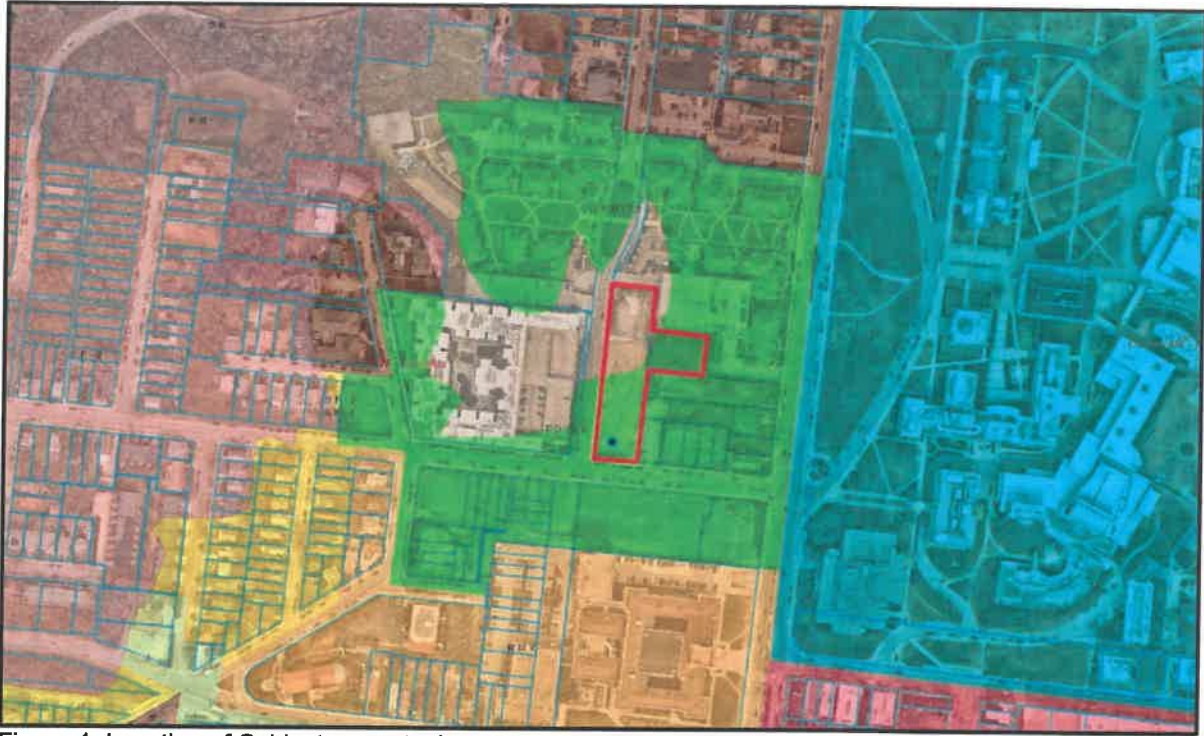


Figure 1. Location of Subject property. Image courtesy of CAGIS.



Figure 2. Conditions of subject property prior to site clearance ca. May 2018. Image from Google.

**Zoning Analysis:**

The applicant requested a Hillside Review in order to build the proposed new structure, which exceeds the Maximum Building Envelope (MBE) and the limit on cumulative Excavation and Fill. The Hillside Overlay uses setback averaging to determine the Maximum Building Envelope (MBE). Based on Hillside averaging requirements, the site has required setbacks of 4.5' for the front, 0.25' for the left side yard, 6' for the right side yard and 6.75' for the rear (Figure 3). The proposed building meets the required setbacks with the exception of a small area on the southeast corner of the building.

Per Section 1433-17, the height of the MBE is "the solid defined by vertical planes constructed at the HS rear, side and front yard setbacks and the plane between the HS height of front and the HS height of rear." As the adjacent properties are below the 150' height limit imposed by the PD requirements, the base requirement of 150' is used for the maximum height as measured from the existing grade (Figure 4). While the proposed height exceeds the Hillside MBE as it is required to be measured at the building line, the Concept Plan set the height of 150' based on the street level at Straight Street. While the proposed building meets the height of the Concept Plan, because it exceeds the Hillside MBE, Zoning Relief is required.

Additionally, cumulative excavation and fill is limited to 8'. The proposed development includes approximately 46' of excavation and fill when measured across the site. Zoning Relief is required. It should be noted that the largest individual cut is approximately 17' at the proposed detention vault.

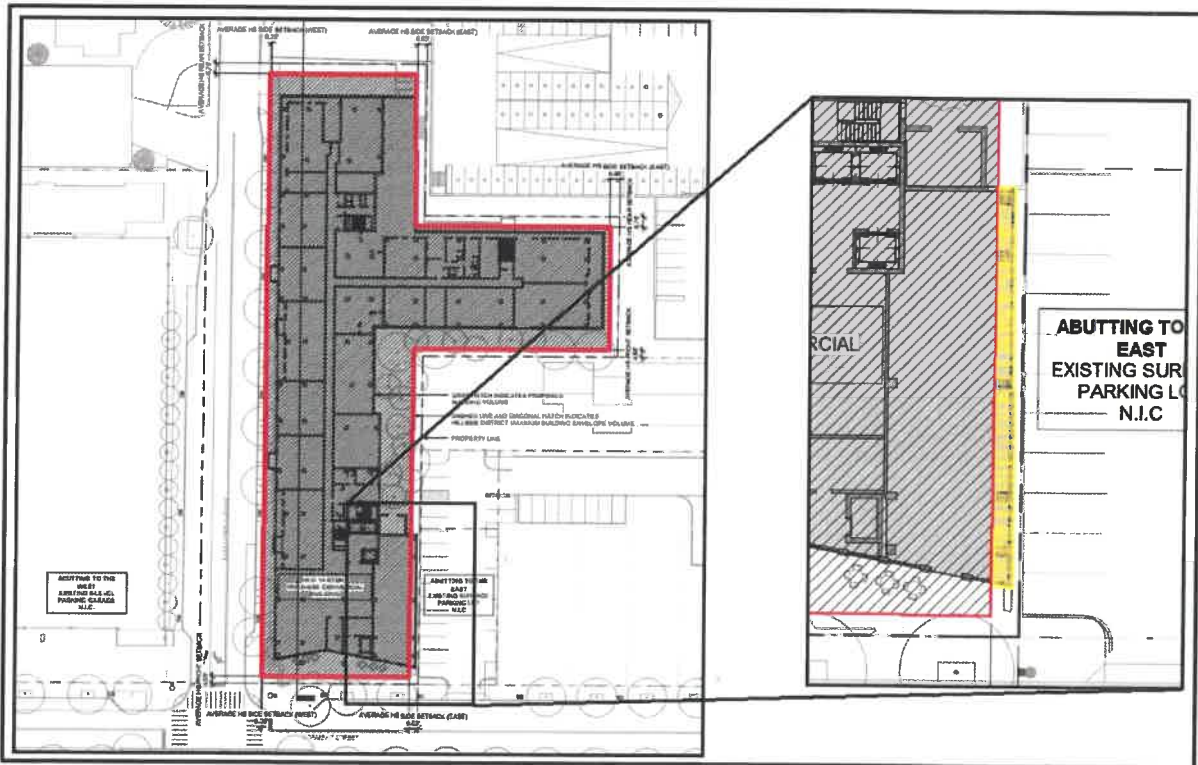


Figure 3. Approximate Maximum Building Envelope in red with area exceeding MBE in yellow.

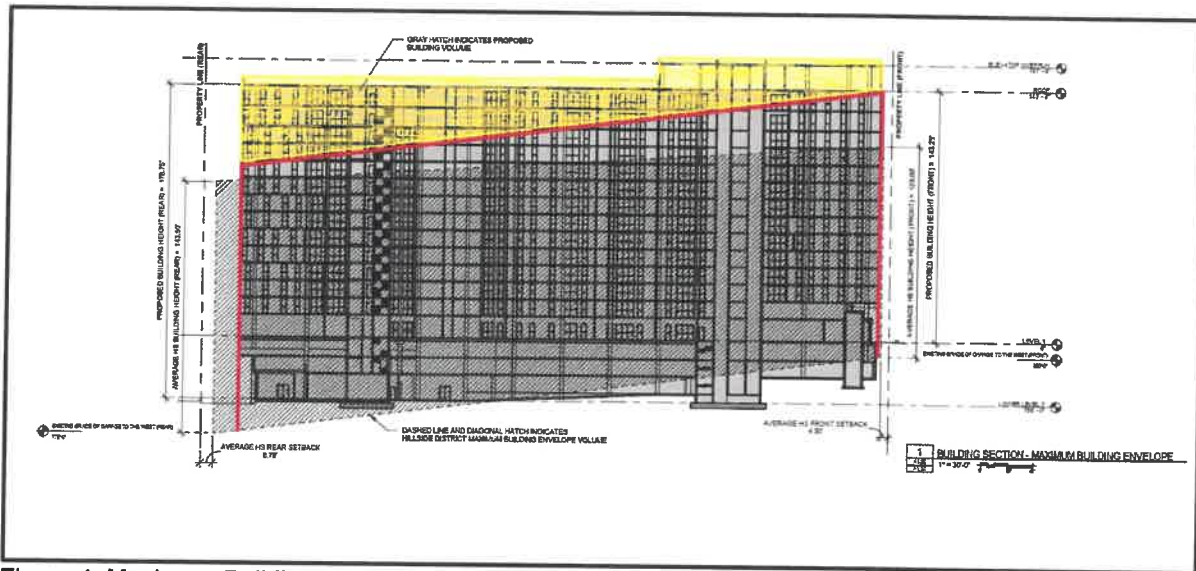


Figure 4. Maximum Building Envelope for height shown in red (150') with area exceeding MBE in yellow.

#### Hillside Base Development Requirements

An application subject to review must comply with the following requirements:

- (a) **Maximum Building Envelope.** *A new building or a building alteration, addition or repair must be contained within the maximum building envelope.*  
The majority of the building fits within the MBE for setbacks with the exception of a small section of the southeast corner (see Figure 3). The building exceeds the 150' height limit based on the existing grades at the building lines (see Figure 4).
- (b) **Height Versus Width.** *Buildings proposed on top of the hillside must be taller than wider to accentuate the vertical dimension.*  
The proposed building is taller than it is wide.
- (c) **Stepping.** *Buildings proposed below or above the brow of the hill must be staggered or stepped in depth and width to match topography and slope.*  
The building foundation is stepped into the hillside to match the existing topography.
- (d) **Maximum Retaining Wall Height.** *Retaining walls may not exceed eight feet in height.*  
Retaining walls do not exceed 8' in height.
- (e) **Rooftop Utilities.** *Rooftop utilities and mechanical equipment should be avoided. If rooftop utilities and mechanical equipment are necessary, screening and sound control must be provided to integrate them into the rooftop.*  
The applicant has stated that, if required, any rooftop utilities will be screened from view.

- (f) **Landscaping of Pervious Surfaces. All pervious surfaces remaining after completion of construction must be landscaped in trees, shrubs, grass or other ground covers to promote hillside stability and reduce excessive water runoff.**

The majority of the site will be occupied by the proposed building. The small areas that remain pervious will be landscaped with trees and grass.

- (g) **Excavation and fills should not exceed eight feet in cumulative height. Excavation and/or fill of any height or cumulative amount that is not tied to a specific development is expressly prohibited. Regardless of height, documentation must be provided to show the excavation and/or fill is necessary to support a specific development and a staff review is required to determine conformance with all requirements of this chapter.**

Cumulative excavation and fill exceeds 8' in height. This work is directly related to the construction of the proposed development. See below.

- (h) **The preliminary geotechnical evaluation should address relative hillside stability.**

The applicant has provided a geotechnical report.

#### Hillside Development Standards

In addition to the Base Development Requirements of §1433-19, the Zoning Hearing Examiner must consider the following standards to ensure harmonious relationships with adjacent buildings and the hillside environment:

- (a) **Avoid Cuts in the hillside if they would leave cliff-like vertical slopes and excessively high retaining walls.**

The topography of the proposed property slopes significantly from south to north with approximately 32' of difference between the southern parcel line and the northern parcel line. No cliff-like slopes will be created and retaining walls will be minimal and will not exceed 8' in height.

- (b) **Design buildings to fit into the hillside rather than altering the hillside to fit the buildings.**

The building is designed to avoid major alterations to the hillside. Minimal grading will be required on the site as the majority of the property will be occupied by the proposed building. The building is designed to step into the existing hillside.

- (c) **Hillside development should be designed to minimize excavation required for foundations, parking and access drives.**

Excavation will be required for the foundation; however, it is not excessive. The building was designed to take advantage of the existing topography and the foundation is designed to step into the hillside. Excavation is minimized to only that necessary for the building's construction. While the cumulative total comes to 46', this is taken across the entire site. It should be noted the largest single cut is approximately 17' at the location of the detention vault.

- (d) ***Cluster new development to retain surrounding tree cover and minimize alterations to the existing topography.***

No existing tree cover exists on the current site. Alterations to the existing topography will be minimal with little regrading occurring on the site.

- (e) ***Maintain a clear sense of the hillside brow by locating buildings back from the brow of the hill.***

The proposed site is not on the brow of the hill. The hillside continues to rise to the east and south. The highest point of the site is at the south property line. The building is setback from this point as shown in Figure 3 above.

- (f) ***Site buildings so as to respect views from public viewing places within the HS District identified in a community plan or other documentation approved by the City Planning Commission.***

The proposed buildings are not expected to negatively impact views in the vicinity.

- (g) ***Where applicable, consider the guidelines contained in the "Cincinnati Hillside Development Guidelines" report to evaluate development application.***

N/A.

**Consistency with Approved Plans:**

*Plan Cincinnati (2012)*

The proposed project is consistent with the Live Section of Plan Cincinnati, specifically the action step "Improve the quality and number of moderate to high-income rental and homeowner units" (p. 165).

**Recommendation:**

Staff makes the following recommendations for 350 Straight Street based on plans by Bayer Becker dated 7/10/2020 and MSP Design dated 2/3/2021:

1. Section 1433-19(a) – **APPROVE – Hillside Review** to allow a proposed building exceeding the allowable Maximum Building Envelope.
2. Section 1421-19(g) – **APPROVE – Hillside Review** to allow approximately 46 ft. of cumulative excavation and fill, exceeding the 8 ft. limit.

**Findings:**

1. The proposed building is located within a Planned Development District. The Hillside Overlay regulations are the only Zoning regulations that apply to this site.
2. The proposed building appears to be consistent with the approved Concept Plan.
3. The proposed setbacks and height are not expected to cause adverse effects on adjacent property owners.